



AGENDA

Agendas May Be Amended

JOIN TEAMS MEETING:

<https://teams.microsoft.com/meet/263676213434681?p=i7NCyWv2IrlgnfjpYS>

MEETING ID: 263 676 213 434 681

PASSCODE: Bp9LG6Dx

PLEASE MUTE YOUR CALL: PLEASE TURN OFF ALL CELL PHONES EXCEPT FOR EMERGENCY PERSONNEL.

CALL TO ORDER

ROLL CALL

1. **NOTICE OF AGENDA COMPLIANCE (PER IDAHO CODE §74-204): ACTION ITEM**
*Finding that the regular meeting notice and agenda were posted in accordance with Idaho Code §74-204 within forty-eight (48) hours prior to the meeting at: the City of Bellevue City Hall, Post Office, and on the City's website on June 4, 2026. **Suggested Motion:** Move that the notice for the June 8, 2026, meeting was completed in accordance with Idaho Code, Section §74-204.)*
2. **CALL FOR CONFLICT (AS OUTLINED IN IDAHO CODE §74-404): ACTION ITEM**
3. **MAYOR AND COUNCIL REPORT**
4. **PUBLIC COMMENT: FOR ITEMS OF CONCERN NOT ON THE AGENDA – (COMMENTS ARE LIMITED TO 3-5 MINUTES)**
5. **CONSENT AGENDA: ACTION ITEMS**
 - a. Approval of Minutes: April 27 Regular Meeting Minutes: Amy Phelps, City Clerk
 - b. Approval of Claims: May 27 through June 8, 2026: Shelly Shoemaker, Treasurer
 - c. Department Head Reports
 - d. Water Project Update: Merrick & Company
6. **NEW BUSINESS**
 - a. Consideration of Resolution No. 26-18 Confirming the Appointment of Kathy Poss to the Library Board of Trustees with an expiration date of December 31, 2028, and extending the term of Kelsie Frint through December 31, 2028: Kristin Gearhart, Library Director | **ACTION ITEM**
 - b. Consideration of Resolution No 26-19 accepting a funding request from Mountain Rides Transportation in an amount of \$15,000 for FY27 for ongoing public transportation services: | **ACTION ITEM**
 - c. Consideration of Resolution No 26-20 Authorizing the Mayor to execute a service agreement with iWorQ Computerized Maintenance Management System: Chris Johnson, Public Works Director | **ACTION ITEM**
 - d. Acknowledgement and Acceptance of the resignation of Council Member Jessica Obenauf effective June 9th, 2026 | **ACTION ITEM**

7. **PUBLIC HEARING**

- a. Appeal of DR-26-01 – Malone Shipping Containers, 811 North Main Street: Brian Parker, Community Development Director | **ACTION ITEM**
- b. Development Impact Fee Review: Brian Parker, Community Development Director

8. **EXECUTIVE SESSION:** Pursuant to Idaho Code 74-206(1)(b)

9. **ADJOURNMENT: ACTION ITEM**

❖ *If you would like to submit written comment on a public hearing agenda item: Submit your comments to aphelps@bellevueidaho.us (by noon the day of the meeting)*



AGENDA

Las agendas pueden ser modificadas

ÚNETE A LA REUNIÓN DE EQUIPOS:

ID de la reunión

<https://teams.microsoft.com/meet/263676213434681?p=i7NCyWv2IrlgnfjpYS> : 263
676 213 434 681

CÓDIGO DE ENTRADA: Bp9LG6Dx

POR FAVOR, SILENCIE SU LLAMADA: POR FAVOR, APAGUE TODOS LOS TELÉFONOS MÓVILES EXCEPTO EL PERSONAL DE EMERGENCIA.

LLAMADA AL ORDEN

LISTA DE LISTA

1. **AVISO DE CUMPLIMIENTO DE LA AGENDA (SEGÚN EL CÓDIGO DE IDAHO §74-204): PUNTO DE ACCIÓN**
*Se constató que el aviso y la agenda de la reunión ordinaria se publicaron conforme al Código de Idaho §74-204 en un plazo de cuarenta y ocho (48) horas previas a la reunión en: el Ayuntamiento de Bellevue, la Oficina de Correos y en la página web de la ciudad el 4 de junio de 2026. **Moción sugerida:** Propone que el aviso para la reunión del 8 de junio DE 2026 se completara conforme al Código de Idaho, Sección §74-204.*
2. **LLAMAMIENTO AL CONFLICTO (SEGÚN LO ESTABLECIDO EN EL CÓDIGO DE IDAHO §74-404): PUNTO DE ACCIÓN**
3. **INFORME DEL ALCALDE Y DEL CONSEJO**
4. **COMENTARIOS públicos: PARA ASUNTOS DE INTERÉS QUE NO ESTÁN EN LA AGENDA – (LOS COMENTARIOS ESTÁN LIMITADOS A 3-5 MINUTOS)**
5. **ORDEN DEL DÍA DE CONSENTIMIENTO: PUNTOS DE ACCIÓN**
 - a. Aprobación de las actas: 27 de abril Acta de la reunión ordinaria: Amy Phelps, secretaria municipal
 - b. Aprobación de reclamaciones: 27 de mayo a 8 de junio de 2026: Shelly Shoemaker, Tesorera
 - c. Informes de Jefes de Departamento
 - d. Actualización del proyecto de agua: Merrick & Company
6. **NUEVOS NEGOCIOS**
 - a. Consideración de la Resolución nº 26-18 que confirma el nombramiento de Kathy Poss para la Junta de Síndicos de la Biblioteca con fecha de caducidad el 31 de diciembre de 2028 y prorroga el mandato de Kelsie Frint hasta el 31 de diciembre de 2028: Kristin Gearhart, Directora de la Biblioteca | **PUNTO DE ACCIÓN**
 - b. Consideración de la Resolución nº 26-19 que acepta una solicitud de financiación de Mountain Rides Transportation por un importe de 15.000 dólares para el año fiscal 27 para servicios de transporte público en curso: | **ÍTEM DE ACCIÓN**
 - c. Consideración de la Resolución nº 26-20 que autoriza al alcalde a firmar un acuerdo de servicios con el Sistema de Gestión de Mantenimiento Informatizado iWorQ: Chris Johnson, Director de Obras Públicas | **PUNTO DE ACCIÓN**

- d. Reconocimiento y aceptación de la dimisión de la concejal Jessica Obenauf con efecto a partir del 9 de junio de 2026 | **PUNTO DE ACCIÓN**

7. **AUDIENCIA PÚBLICA**

- a. Apelación del DR-26-01 – Malone Shipping Containers, 811 North Main Street: Brian Parker, Director de Desarrollo Comunitario | **PUNTO DE ACCIÓN**
- b. Revisión de la tasa de impacto del desarrollo: Brian Parker, Director de Desarrollo Comunitario

8. **SESIÓN EJECUTIVA:** Conforme al Código de Idaho 74-206(1)(b)

9. **APLAZAMIENTO: PUNTO DE ACCIÓN**

❖ *Si desea enviar un comentario escrito sobre un punto del orden del día de una audiencia pública: Envíe sus comentarios a aphelps@bellevueidaho.us (antes del mediodía del día de la reunión)*



Memorandum

To: Mayor Giordani and Bellevue Common Council

From: Amy Phelps, City Clerk

Re: Consent Agenda

Date: June 8, 2026

The consent agenda allows the Council to approve routine items in one motion to save time and streamline meetings. Typical items include approval of minutes, bills, and standard reports. Any council member may request that an item be removed from the consent agenda for separate discussion before the vote.

Suggested Motion

Move to approve the Consent Agenda as: *amended, corrected, or as presented.*

Enclosures

- a. April 27, 2026 Meeting Minutes
- b. Claims Payable Report: May 27, Through June 8, 2026
- c. Department Head Reports
- d. Water Project Update



The Common Council of the City of Bellevue, Idaho met at a regularly scheduled Meeting on Monday, April 27, 2026, at 5:30 p.m. in the Council Chambers of the City of Bellevue Offices, located at 115 E. Pine Street, Bellevue, ID 83313.

Call to Order: Mayor Giordani called the Regular Meeting to order at 5:30 p.m. (00:12:19 in video)

Roll Call:

Christina Giordani, Mayor – Present
Diane Shay, Council President – Present
Tammy E. Davis, Council Member – Present
Suzanne Wrede, Council Member – Present
Anders Ard, Council Member – Present
Tom Bergin, Council Member – Present
Jessica Obenauf, Council Member – Present

Staff Present:

Amy Phelps, City Clerk
Brian Parker, Community Development Director
Carter Bullock, Planner
Shelly Shoemaker, Treasurer
Greg Beaver, Fire Chief
Rick Allington, Legal Counsel
Kirt Gaston, Bellevue Marshal

1. Notice of Agenda Compliance: (00:13:04 in video)

The posting of this regular meeting agenda complied with Idaho Code §74-204. The Regular meeting agenda was posted within forty-eight (48) hours prior to the meeting at the Bellevue City Hall, Post Office, and on the City website on *April 23, 2026*.

Motion: Council President Shay moved that the agenda notice was in compliance with Idaho Code §74-204. Council Member Davis seconded, and the motion passed unanimously.

2. CALL FOR CONFLICT (AS OUTLINED IN IDAHO CODE §74-404): ACTION ITEM

No conflict was noted at this time.

3. MAYOR AND COUNCIL REPORT (00:13:29 in video)

Mayor Giordani thanked the City Assets Department for recently striping parking spaces in the business area, noting the improvements to parking organization and traffic flow. She stated the changes had been appreciated by local businesses and the public and expressed interest in seeing additional improvements completed.

Mayor Giordani reminded the public of the ERC Clean Sweep event scheduled for Saturday, May 2, from 9:00 a.m. to 12:00 p.m., beginning at Memorial Park. She noted that flyers had been distributed and shared on social media.

Mayor Giordani also announced that Bellevue Fire Chief Greg Beaver had submitted his retirement notice after many years of service with the Bellevue Fire Department beginning in 1987. She thanked him for his dedication and service to the community. The Mayor informed the Council that interviews for a replacement Fire Chief were currently underway and that an appointment recommendation would likely be brought before the Council within the next month. She stated the anticipated effective retirement date would be around July, with final details still being determined.

Council Member Davis reported that Earth Fest had a great turnout and stated she was pleased to participate in the event. She also noted that May is Mental Health Awareness Month and requested that a proclamation recognizing Mental Health Awareness Month be placed on an upcoming Council agenda.

Council Member Wrede raised concerns regarding the proposed library levy, requesting that Council conduct additional due diligence. She stated her view that the levy could create a long-term structural deficit and emphasized the importance of understanding its potential impacts on the community, including affordability considerations and governance implications related to taxing authority.

In addition, Council Member Wrede provided comments related to ERC Clean Sweep, noting questions regarding whether a waiver was required and clarifying that sponsorships had covered associated fees. She also raised concerns about recognition of event sponsors and contributors in city communications, referencing changes made to submitted newsletter content and expressing the importance of appropriately acknowledging individuals and partner organizations involved in the event.

She further discussed operational details of the ERC Clean Sweep, including green waste handling, dumpster availability, and coordination with partner organizations, and requested follow-up on prior-year logistics and communication processes.

Council Member Bergin reported that he had received positive public feedback regarding the appearance of the newly painted City Hall, noting that community members have complimented the improvement and that he agreed it looks very good.

He also highlighted the Idaho Gives event taking place May 4–7, noting that a rural land trust is participating with a fundraising effort focused on the purchase of the Myers property to expand the Howard Preserve. He stated that the campaign includes a \$25,000 matching contribution and encouraged awareness of the effort, expressing support for the initiative.

Council President Shay provided a brief update on the BURA open house held the previous Wednesday. Although she was unable to attend, she noted that approximately 20 people participated and that there was strong interest in the event. She relayed feedback from Mark Sindell of GGLO indicating the turnout was solid and that the input received is being used to inform and shape ongoing planning efforts.

4. PUBLIC COMMENT: FOR ITEMS OF CONCERN NOT ON THE AGENDA – (COMMENTS ARE LIMITED TO 3-5 MINUTES)

(00:23:16 in video) Bill Hamilton, 260 Melrose

Bill Hamilton expressed concern about the newly constructed gas station (Maverik), referring to it as a “fourth gas station” in a small area and questioning whether it is subject to the same night-lighting restrictions applied to other developments, including the Karl Malone project. He stated that the lighting appears excessively bright, described the site as inconsistent with the community’s dark sky goals, and requested that the issue be reviewed or addressed.

Jackie Peppard, Beach Street

Jakie Peppard expressed concerns regarding potential increases to property taxes and expansion of the lot tax, noting that voters had previously rejected additional lot taxes. She referenced prior statements from former Mayor Chris Johnson regarding avoiding additional tax burdens on residents and stated that rising inflation and increasing costs are already impacting local families and businesses.

Ms. Peppard also referenced a recent newspaper article discussing the failed LOT tax expansion and concerns regarding public education efforts related to future tax proposals. She expressed opposition to additional taxation and questioned certain city expenditures, including the purchase of Flock cameras, suggesting those funds could instead support deferred maintenance needs. Additionally, Ms. Peppard raised concerns about increased housing and commercial density, stating that additional growth could place further strain on city infrastructure and negatively impact Bellevue’s dark sky goals. She encouraged the City Council to focus on fiscal responsibility, prioritize essential infrastructure and public services, improve transparency and accountability, and operate within existing financial means rather than relying on additional taxation.

Werner Morawitz, 198 Muldoon Road (EE-DA-HO Ranch)

Written by Jim Lasky and Read by Werner Morawitz

Bellevue Mayor and Common Council members,

I represent the EE-DA-HO Ranch. We have noticed the memorandum from Chris Johnson, which recommends that the previously approved Drinking Water Facility Plan technical draft (DWFP), which has already been approved by Council, be submitted to IDEQ for final approval rather than submitting a revised plan which more closely reflects the current status of the project.

With respect to that recommendation, we would like to point out the following, and these are just bullet points:

1. The previously approved DWFP does not accurately reflect what we understand to be the current plans for the Seamans Creek Springs System improvements.
2. By letter of February 28, 2026, Idaho Ranch proposed terms for use of internal ranch property for the location of a portion of the pipeline and has received no response from the City to date.
3. The DWFP references required easements (in addition to the one referenced above) that have not been in any way discussed with the underlying landowner.
4. The Merrick project timeline refers to a completed water group meeting in February 2026 for review of a draft Preliminary Engineering Report (PER), at which time there was no draft PER. We understand there will be another water group meeting, which has not yet been scheduled, to review the latest draft of the PER prior to finalization and submittal to IDEQ for approval.

5. CONSENT AGENDA: ACTION ITEMS

- a. Approval of Minutes: Feb 23, 2026, Regular Meeting Minutes: Amy Phelps, City Clerk
- b. Approval of Claims: April 14 through April 27, 2026: Shelly Shoemaker, Treasurer
- c. Treasurer's report: FY26 Q2: Shelly Shoemaker, Treasurer

Motion: (00:32:25 in Video) **Council President Shay** approve the consent agenda – as amended to discuss items 5b and 5c separately. **Council Member Wrede** seconded. Council Member Voting Aye: Council President Shay, Council Member Wrede, Council Member Davis, Council Member Bergin, Council Member Ard, Council Member Obenauf. Council Members Voting No: None. **The Motion Passed.**

- b. Approval of Claims: April 14 through April 27, 2026: Shelly Shoemaker, Treasurer

Council Member Wrede questioned how payroll-related expenses, including vacation, sick leave, and other paid time, are reflected in the City's claims and accounting reports. Mayor Giordani noted that Treasurer Shelly Shoemaker had provided a memo for council review regarding payroll claims reporting. Treasurer Shoemaker explained that payroll expenses are included within department salary and wage line items, along with associated payroll taxes, health insurance, retirement contributions, and other payroll-related expenses.

Council Member Wrede expressed concern that payroll expenses are not presented as individual monthly claims transactions and asked for clarification regarding how those expenses are reported and allocated across departments and enterprise funds. Treasurer Shoemaker stated that the payroll-related categories are included in all treasurer's reports.

Motion: (00:43:00 in Video) **Council Member Davis moved to** approve consent agenda item b. **Council Member Obenauf** seconded. Council Member Voting Aye: Council President Shay, , Council Member Davis, Council Member Ard, Council Member Obenauf. Council Members Voting No: Council Member Wrede. **The Motion Passed.**

- c. Treasurer's report: FY26 Q2: Shelly Shoemaker, Treasurer

Council Member Wrede questioned how the City validates expense allocations and transactions reflected in the Treasurer's Report, specifically regarding administrative fees charged to the water fund under account 51010. Treasurer Shoemaker explained that the charges are based on the administrative fee allocation worksheet approved as part of the budget process and include allocated portions of expenses such as postage and other administrative costs.

Council Member Wrede expressed concern that the Treasurer's Report reflected significant allocated expenses without associated claims or supporting transaction details visible in the report and requested clarification regarding the documentation supporting those allocations. Mayor Giordani clarified that the original claims are processed through the administration department and later allocated to enterprise funds according to the approved budget percentages.

Mayor Giordani stated that the discussion warranted a more detailed offline meeting between Council Member Wrede and Treasurer Shoemaker to further review the enterprise fund allocations and supporting documentation. The Mayor also noted that review and auditing of water and wastewater rates and related allocations are part of the Fiscal Year 2027 budget process.

Council Member Wrede attempted to make a motion to adopt a resolution to have a rate audit conducted for both enterprise funds. Council Member Ard Seconded the motion. Mayor Giordani informed that the motion was for a resolution that doesn't exist. The motion was flawed and needed to be revised. The motion failed. Mayor Giordani explained that she would take a recommendation to direct staff to put together a rate audit. Council member Wrede recommended that staff be directed to conduct an audit of the enterprise funds.

Council Member Wrede asked for clarification on treasurer's report items that appeared to be over budget. Shelly Shoemaker explained that each of the departments are approximately at or slightly below the 50% mark, which matches the budget timeline as we are about halfway through the fiscal year. She explained she has no major concerns about being over budget. Council Member Wrede noted that the City spent more on water testing than last year. Chris Johnson, Public Works director explained that there were additional required tests conducted this year and should have been budgeted for. The testing includes PFAS testing and in future years these would be accounted for. Council Member Wrede asked where the extra money came from to cover those costs. Mr. Johnson confirmed that there were other line items in the water budget to pull from and would appropriately document the current year to better budget for FY27 and on into the future. Council Member Wrede expressed further concern about the budget process.

Fire Chief Beaver said if a Council Member has an issue with a department budget that the Council Member should call the staff member to follow up directly and not waste time in a meeting with this type of discussion. Council Member Wrede said she doesn't call staff because she'd been asked not to. Mayor Giordani asked to go back to the discussion at hand.

Motion: (01:00:00 in Video) **Council Member Bergin moved to** approve the remaining consent agenda item – item c. **Council Member Obenauf** seconded. Council Member Voting Aye: Council President Shay, Council Member Bergin , Council Member Davis, Council Member Ard, Council Member Obenauf. Council Members Voting No: Council Member Wrede. **The Motion Passed.**

6. OLD BUSINESS - CONTINUED FROM APRIL 13, 2026

- a. Water Project Update and Final Facility Plan: Chad Hoopes, Merrick and Company, Chris Johnson, Public Works Director

Chris Johnson, Public Works Director explained that the facility plan serves as an engineering tool that continues to evolve through discussions with the City's bond counsel, water attorneys, engineers, Idaho DEQ, and the Idaho Department of Water Resources. He stated that the purpose of those discussions is to refine the plan, account for project needs, and maximize use of the City's water rights.

Mr. Johnson explained that after additional consultation with the Idaho Department of Water Resources and the City's water rights attorney, it was determined that the originally approved facility plan provides the City with greater flexibility and better supports the City's water rights needs than a

revised plan would. He noted that the bond election and bond issuance remain valid, and that bond funds may continue to be used for improvements presented to voters, while grant funds may be used for eligible items outside the precise bond language but still within the overall scope of the water improvement project.

Mr. Johnson stated that staff is recommending the City proceed with the original facility plan previously approved by the Council and that no further Council action was required at that time. He also noted that the City's water attorney, bond attorney, and engineer were available to answer Council questions.

Council Member Wrede questioned why the facility plan would not simply be updated if these restrictions were now understood, noting that earlier discussions suggested changes were necessary because of water rights concerns. Chris Johnson responded that, over the previous five weeks, additional meetings and legal and engineering review had provided clarification. Staff now believed the original facility plan could move forward while remaining consistent with the City's bonded project scope, existing water rights, approved facility plan, and regulatory requirements. The only adjustment was recognizing "side rails" related to the specified diversion points.

Wrede then pressed whether opinions could change again in another five weeks, since the City's position had already evolved once. Mayor Giordani responded that the original facility plan would be submitted to DEQ because it had already been approved by the council and remained the recommendation of the Public Works Director and engineers. She emphasized there was no action item that evening because any future change to the facility plan would have to come back before the council for approval.

Rick Allington asked what the next steps would be. Staff explained that DEQ would review the previously approved facility plan primarily to confirm that it met Idaho DEQ and IDAPA requirements for public water system infrastructure improvements. Additional regulatory items such as wetlands determinations and ecological review might also be required.

Mr. Johnson explained After DEQ review, the City engineer would prepare a Preliminary Engineering Report (PER), described as a more detailed engineering-level plan that would identify project specifics such as structures, pipelines, diversion points, pipe sizing, construction estimates, and modifications to the system. Staff explained that a future water meeting would be held with project partners and interested parties to review the PER and ensure everyone understood the proposed infrastructure and compliance constraints.

The discussion also emphasized that there would still be multiple opportunities for public comment and council review before final engineering approval and bidding. Staff noted the project had essentially been on hold pending clarification and DEQ review of the facility plan, which delayed previously anticipated meetings with water stakeholders.

Council members also sought clarification about references in the facility plan to a "new springs collection system." Questions centered on whether the project involved creating new springs or changing points of diversion. Staff clarified that the project did not involve establishing entirely new water sources, but rather rehabilitation and collection system work associated with the existing spring system (identified as SS1), while remaining compliant with DEQ requirements and secure access

requirements (referred to as ACAS). Staff confirmed they believed the current facility plan still satisfied those requirements.

The discussion concluded with acknowledgement that this was not the final opportunity for review. Staff explained that if the council took no action that evening, the facility plan would proceed to DEQ review, and potential amendments could still be identified later during the Preliminary Engineering Report phase if necessary.

The discussion continued regarding whether amendments could still be made to the facility plan as the project progressed. Staff explained that the facility plan is a high-level engineering and planning document intended to support the bond process and DEQ review, and that modifications could occur later as more detailed engineering and construction work proceeds. It was noted that once construction begins and infrastructure is exposed, unforeseen conditions such as deteriorated pipes or structures may require adjustments to the project. Staff emphasized that any changes would remain within the City's existing water rights and overall project scope. The purpose of the project was described as ensuring the City can achieve its documented 3 CFS water rights use, comply with DEQ requirements, and satisfy the conditions outlined in the amended easement and access agreements.

Questions were raised regarding whether facility plans can be revised after submission and how the project relates to the bond approved by voters. Staff responded that facility plans are not legally binding construction documents, but planning documents required under IDAPA regulations for DEQ review of public water system improvements. Staff further explained that the bond and loan funding are tied to the projects identified in the facility plan, but that the plan itself remains a high-level overview and does not require detailed final engineering specifications at this stage. Council members expressed concern that the projects identified in the bond materials remain consistent with what voters approved.

Discussion then shifted to whether additional council action was needed before submitting the facility plan to DEQ. Some council members stated they had not heard anything indicating the City would be unable to make future revisions if necessary, but recommended that additional review occur because new materials, including a memorandum dated April 22, 2026, had been distributed shortly before the meeting. A request was made to place the memorandum and related discussion on a future agenda for further review.

It was confirmed that DEQ approval of the facility plan is necessary before moving forward with the preliminary engineering report and final construction planning. Mr. Johnson explained that the current submittal to DEQ is based on the facility plan previously approved by the council and that submitting the finalized version is the next procedural step needed to avoid delays to the project timeline.

The Mayor summarized that council members had requested additional discussion regarding the bond counsel memorandum and noted that the agenda item was informational only and did not require formal action by the council at that meeting.

7. NEW BUSINESS 30 MIN 6:20-6:50

- a. Frontier Community Resources (SMILES) Grant Acceptance: Carter Bullock, Planner | **ACTION ITEM**

Planner Carter Bullock introduced the agenda item by informing the council that the City had applied for a \$5,000 grant from Frontier Community Resources and was awarded \$7,000 to support a pop-up plaza event planned for the summer. He explained that the event would take place at the Oak Street dead end and would align with the BURA dead-end rights-of-way project. The purpose of the event is to help residents visualize how the space could be used for community activities, programming, placemaking, and public gatherings.

Mr. Bullock stated that the City hoped to coordinate with nearby businesses, including Betty's Peruvian and Cutthroat, to potentially incorporate outdoor seating, music, and other activities. He also discussed the possibility of involving farmers markets or art markets to showcase local businesses and attract visitors to historic downtown Bellevue. During council discussion, additional ideas were raised regarding expanding activities to Elm Street, including the possibility of outdoor movie events. Mr. Bullock noted that while the current grant application focused primarily on Oak Street, the concept of incorporating Elm Street had also been discussed.

Motion: (01:34:57 in Video) **Council President Shay moved to approve** acceptance of the SMILES grant. **Council Member Wrede** seconded. Council Member Voting Aye: Council President Shay, , Council Member Davis, Council Member Ard, Council Member Obenauf, Council Member Wrede, Council Member Bergin. Council Members Voting No: none. **The Motion Passed.**

- b. Climate Smart Communities Initiative - Tree inventory Grant acceptance Carter Bullock, Planner | **ACTION ITEM**

Planner Carter Bullock introduced the Climate Smart Communities Initiative Tree Inventory Grant item and explained that earlier in the year the City of Bellevue applied for grant funding through the Keystone Concept in partnership with Blaine County's Climate Smart Communities Initiative to conduct a community tree inventory. He stated that most other communities in the Wood River Valley had completed comprehensive tree inventories in recent years, while Bellevue had not previously participated.

Mr. Bullock explained that the project would identify and document trees located within public rights-of-way and other public property throughout the city. He also noted that the project would provide an opportunity for community volunteers to participate, engage with one another, and assist with the inventory process. He informed the council that the City had been awarded \$10,000 for the project and that council approval was requested for the agreement with the Climate Smart Communities Initiative in order to accept the grant funding.

Council Member Wrede asked whether the City had pursued additional grant opportunities for roadway improvements, specifically referencing the Pine Street Small Urban Grant and other possible funding sources. Planner Carter Bullock responded by referencing roadway-related grant opportunities but noted he was not aware of any additional related projects currently underway.

Council Member Davis asked whether the City or another organization would manage the grant. Mr. Bullock explained that Trees Idaho, an organization based in Boise, would help coordinate the project and train volunteers to conduct the tree inventory. He stated that grant funds would partially reimburse City staff time associated with the project. Davis also asked whether Trees Idaho would coordinate arborists and related expertise, to which Bullock explained the project would primarily rely on trained volunteers conducting the inventory work.

Council Member Bergin asked how staff reimbursement would function within the grant and also questioned the feasibility of recruiting the anticipated number of volunteers. Bullock stated the City was optimistic about recruiting at least 20 volunteers, including participants from the hospital and members of the Hailey Tree Committee, and noted that outside organizations would help support participation numbers. Bergin commented that Bellevue likely has one of the most diverse tree inventories in the valley and expressed support for the project.

Mayor Giordani stated the project sounded interesting and educational and expressed interest in volunteering to learn more about tree identification. Bullock added that volunteering would largely involve walking through the community to collect inventory information.

Council Member Davis suggested reaching out to local arborists and tree-related businesses to inform them about the grant and invite participation. Mr. Bullock stated that some arborists had already been notified and agreed additional outreach would be beneficial. Council President Shay additionally suggested reaching out to local business owners John and Sophie Wilkes of Branching Out, noting their longstanding involvement in the Bellevue community. Bullock welcomed additional contact suggestions from council members.

Motion: (01:42:58 in Video) **Council Member Bergin moved to approve** acceptance of the Tree Inventory Grant. **Council Member Davis** seconded. Council Member Voting Aye: Council President Shay, , Council Member Davis, Council Member Ard, Council Member Obenauf, Council Member Wrede, Council Member Bergin. Council Members Voting No: none. **The Motion Passed.**

- c. Approval of Resolution No. 26-14 Declaring Surplus Property and authorizing and directing the disposal of the surplus property: Chris Johnson, Public Works Director | **ACTION ITEM**

Public Works Director Chris Johnson introduced two surplus equipment items for council consideration. Johnson explained that the first item was a Kalamazoo Industrial pipe cutter that had likely been acquired through government surplus and may never have been used by the City. He noted the equipment was not currently listed on the City's property inventory. Mr. Johnson stated the second item was an older New Holland sickle mower with an approximately five-foot blade that required equipment the City no longer owns in order to operate it. Mr. Johnson requested council authorization to surplus both items and stated the equipment would be sent to Magic Valley Auctions, with any proceeds to be used toward other equipment purchases.

Motion: (01:46:58 in Video) **Council Member Bergin moved to approve** Resolution No. 26-14 Declaring Surplus Property and authorizing and directing the disposal of the surplus property. **Council President Shay** seconded. Council Member Voting Aye: Council President Shay, , Council Member Davis, Council Member Ard, Council Member Obenauf, Council Member Wrede, Council Member Bergin. Council Members Voting No: none. **The Motion Passed.**

2. PUBLIC HEARING

a. TA-25-01 – Text Amendment - CONTINUED FROM APRIL 13, 2026, 30 MIN 6:50-7:20

A text amendment to Bellevue City Code Titles 10 (Zoning Regulations), 11 (Subdivision Regulations), and 12 (Flood Damage Prevention Ordinance) to improve clarity, correct errors, and increase enforceability: Brian Parker, Community Development Director | **ACTION ITEM**

Brian Parker, Community Development Director, presented proposed code amendments as part of the City’s ongoing code cleanup efforts. He reviewed the current RV occupancy standards, prior proposals, and a proposed draft amendment submitted by Council Member Wrede. Mr. Parker raised concerns regarding inconsistencies with existing city code, vague definitions, enforcement challenges, lack of defined responsible parties and code enforcement staff, conflicting timelines for appeals and abatement, and provisions allowing removal or disposal of RVs and associated structures. He noted several areas where the draft language could create legal, procedural, or practical enforcement issues and emphasized the need for clearer, more consistent code language aligned with existing city regulations and Council direction.

Mr. Parker emphasized that effective regulation depends on balancing enforceability, staff capacity, and public trust, and argued that current proposals raise concerns about clarity, due process, and practical implementation.

He then outlined how code enforcement actually works in practice—starting with complaints, investigation, and escalating through civil penalties, misdemeanor charges, and court action if needed. He noted that enforcement is already available through existing legal mechanisms, including civil litigation by the city or private legal action by citizens.

Finally, he summarized the policy choices before Council: maintain the current standard, adopt a simpler “time-based” occupancy rule, implement a physical permit system, or proceed with a new pre-application/online permit model (Civic Review). He compared these options in terms of enforceability, staff workload, cost, and transparency, and asked Council to choose a preferred direction for a revised ordinance to return for further consideration.

The council discussed three proposed options for regulating RV use, including limiting duration of occupancy, issuing annual physical permits, and implementing an online permitting system through Civic Review. Council noted that the options were intended to provide clearer, more enforceable guidance and reflected prior community feedback.

Discussion focused on enforcement challenges under the existing code, particularly the difficulty in establishing proof of how long an RV had been used as a dwelling. Concerns were raised regarding the burden placed on the City to document violations and distinguish between temporary use and illegal long-term occupancy.

The council also discussed the distinction between temporary RV use, such as for visiting guests, and prohibited use as a permanent dwelling under current code. Clarification of definitions related to “dwelling” and “temporary housing” was identified as important to improving consistency and enforcement.

A potential solution was discussed involving a strengthened permitting process with clearly defined start and end dates for RV occupancy, which would allow enforcement through permit compliance and overstays rather than proving illegal habitation.

Discussion then focused on enforcement mechanisms, including whether violations should be addressed through civil fines or misdemeanor penalties. Some councilmembers supported retaining or designating violations as misdemeanors to allow for court-supervised compliance, probationary conditions, and stronger deterrence, while also noting that fines could still be applied depending on circumstances and judicial discretion.

The Council also deliberated setback requirements and whether RV placement should be subject to property line setbacks or primarily regulated through right-of-way restrictions. Concerns were raised that applying standard setbacks could limit practical enforcement and reduce available compliance options on existing lots.

Additional discussion addressed definitions of RV occupancy and the distinction between temporary use and housing, including concerns about how duration of stay could affect regulatory interpretation. Councilmembers noted potential ambiguity in defining when RV use becomes residential occupancy.

[\(02:32:50 in video\)](#) Public comment for the hearing was opened:

Jackie Peppard, Beech Street

Ms. Peppard expressed concern regarding the proposed increase in allowable RV permit days, specifically questioning why the limit was being raised above 40 days and noting that earlier proposals referenced lower thresholds (including 10-day increments and an initial 20-day option). She stated concern about the current proposal allowing up to 56 days and the potential for consecutive permits that could effectively extend stays to 56 continuous days. She requested a reduction in the number of allowable days, indicating a preference for fewer permitted days and expressing overall discomfort with the increased duration in the revised proposal.

Public comment was closed.

Council discussion then focused on refining the proposed RV permit ordinance, particularly around enforcement, duration limits, and implementation details.

Members discussed concerns about how to verify compliance in practice, including whether permits should be visibly displayed on RVs and how enforcement would work without intrusive inspection methods. There was also discussion about improving clarity in definitions, such as whether terms like “adjacent lot line” or “approved driveway setbacks” should be used to better guide enforcement and encourage compliance through proper permitting.

A significant portion of discussion returned to the allowable length of stay and whether consecutive permits should be permitted. Councilmembers raised concerns about balancing flexibility for residents—such as temporary housing needs during emergencies or housing instability—against concerns that longer or consecutive stays could effectively create de facto long-term occupancy. Suggestions included limiting consecutive use, adding “cooling-off” or non-consecutive requirements, or setting shorter maximum durations.

It was emphasized that the real-world housing constraints in the community and cautioned against overly restrictive limits, while others expressed concern that longer durations (such as approximately 56 days under the proposal) could effectively function as temporary housing rather than short-term use.

Motion: (02:50:50 in Video) **Council President Shay moved to Waive** three readings of Ordinance No. 2026-01 and read by title only. **Council Member Obenauf** seconded. Council Member Voting Aye: Council President Shay , Council Member Obenauf. Council Members Voting No: Council Member Davis, Council Member Ard, Council Member Wrede, Council Member Bergin. **The Motion Failed.**

Motion: (02:51:46 in Video) **Council Member Wrede moved** continue the public hearing to May 11, 2026. **Council Member Davis** seconded. Council Member Voting Aye: Council Member Davis, Council Member Ard, Council Member Wrede, Council Member Bergin Council President Shay, Council Member Obenauf. Council Members Voting No: none. **The Motion passed.**

9. PRESENTATIONS

a. Water Meter Project Status Update: Kayme Backstrom, Public Works

Kayme Backstrom, Public Works provided a status update on the City’s water meter project. She stated that meter installation has been occurring on a rolling basis since approximately 2015 and that there are currently about 1,037 utility accounts in the system, with 857 meters installed and approximately 744 fully functioning. She reported that staff are actively verifying meter numbers and addresses and addressing field challenges, including locating and clearing obstructed meter lids throughout the city.

Ms. Backstrom explained that a successful meter read was completed in April following earlier communication issues between the Cassell system and Neptune software, and that the resulting data was successfully exported to Excel to serve as a baseline for future reporting and analysis. She further detailed that a new billing design showing water usage graphs is anticipated to be released in June.

She said that staff are working to finalize water rate structures in coordination with the upcoming budget process and will bring forward a resolution once the rates are established. She stated that the City’s plan is to implement meter-based billing for fully functioning meters beginning October 1, 2026, with accounts that do not yet have installed or repaired meters remaining on a flat rate until service is completed.

She stated that approximately 100 meters require repair or replacement, with an estimated cost of \$30,000 to \$50,000, and that an additional approximately 200 meters and associated vault installations are still needed in existing developed areas, with an estimated cost of \$750,000 to \$1 million. She stated that these improvements will be bid and that staff will explore potential grant opportunities and other funding sources to help offset costs.

She explained that staff anticipate a robust public communication effort once usage-based billing begins, including newsletters, mailers, updates through the electronic billing system, social media, and the City website.

A question was raised regarding whether the new meters are capable of being read remotely. Ms. Backstrom responded that the majority of the City’s meters are equipped with radio-read capability. She clarified that, as meters are pulled and assessed, work is being done to ensure that meter locations and associated account addresses are accurately matched in the system to maintain data integrity.

Ms. Backstrom further explained that while most meters are read via radio, there are a small number of older analog meters with radio attachments that do not function consistently. Staff confirmed that the meters currently being purchased and installed by the City include radio-read technology.

Council discussion followed the presentation. Councilmembers raised questions regarding meter functionality, remaining manual reads, leak detection capability, system integration, and customer access features.

Chris Johnson and Kayme Backstrom confirmed that most water meters are now Neptune-enabled and capable of remote reading. Backstrom noted there are only a small number of remaining outliers, including approximately seven commercial accounts that still require manual monthly reads and fewer than 25 total meters that may require either transmitter upgrades or full replacement.

Discussion continued regarding system reliability and data accuracy. Backstrom explained that Public Works staff are actively verifying meter numbers and associated addresses during fieldwork to ensure system data integrity, particularly as meters are confirmed and upgraded.

Council asked about customer-side leak detection and usage monitoring. Backstrom explained that once metered billing is fully implemented, staff will be able to identify unusual consumption patterns, including potential leaks or excessive irrigation use. She further noted that system data will allow comparison between water production and metered consumption, which will help identify system losses such as leaks or unmetered usage.

Council also inquired about broader system monitoring and water accounting. Backstrom explained that SCADA and meter data together will allow staff to compare water entering the system (wells and springs) with water usage recorded by meters, helping identify discrepancies and potential losses. She also noted that tank level monitoring can help identify large usage events such as fire flow demand.

Discussion included questions about the Neptune customer portal (“My Neptune 360”) and whether residents would have access to usage data. Backstrom stated that the City is currently evaluating a customer-facing portal option, including infrastructure requirements such as base stations and system costs. She noted that a prior Council had considered the option cost-prohibitive, but updated pricing has been requested for current Council consideration.

A brief discussion occurred regarding remaining unmapped or incomplete installations, including vaults without meters (“jumpers”). Backstrom confirmed these locations are being identified and corrected as part of ongoing fieldwork.

Council also confirmed that data integration between Neptune and the City’s billing system (CASS/Caselle system) is functioning, with Backstrom noting that meter reads can now be transferred into the billing system electronically in a matter of minutes following initial setup and troubleshooting with vendor support.

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b. Flock Safety Review: Kirt Gaston, Bellevue Marshal

Marshal Kirtus Gaston reported that the Bellevue Marshal’s Office utilizes Flock Safety automated license plate recognition (LPR) technology as one of several law enforcement tools.

He explained that the department conducts monthly audits of all LPR searches to ensure responsible and appropriate use. These internal audits are regularly performed by Sergeant Shelamer and Marshal Gaston to provide mutual oversight. In addition, the Marshal's Office is in the process of securing a third-party law enforcement agency to conduct the required semi-annual audits, with the intent of further strengthening transparency and accountability.

Marshal Gaston noted that although state law requires audits twice per year, Bellevue conducts audits every 30 days. He stated this exceeds state requirements and reflects the City's commitment to transparency.

He also reported that the City provides public transparency through the Flock Safety transparency portal on the City website, accessible under the Marshal's Office section. The portal allows the public to view monthly data, including the number of camera detections, hot list alerts, and information regarding data sharing with other agencies. He clarified that data sharing is limited to Idaho law enforcement agencies and includes alerts such as Amber Alerts and NCIC entries for wanted persons or vehicles.

Marshal Gaston stated that the system also shows the number of hot list alerts received over the prior 30-day period, enabling public oversight of system activity.

In terms of outcomes, Marshal Gaston reported that since implementation of the LPR system, it has assisted in stopping two individuals experiencing mental health crises to connect them with services, contributed to three warrant arrests, and helped clear four cases. He noted that while the numbers are modest, they are significant for a small agency and demonstrate the system's operational value.

Council discussion focused on the status, use, and transparency of the FLOCK license plate recognition (LPR) camera system and related accountability measures.

A council member asked for clarification on when Bellevue installed the cameras and whether the Council had been adequately informed at the time. Marshal Gaston confirmed the cameras had been installed and went live in October and stated that the system and its transparency portal had been referenced previously in Council meetings and on the city website, though some Council members indicated they were not fully aware of the extent of its use or public-facing information at the time.

Discussion continued around transparency and public communication, including whether the FLOCK transparency portal had been adequately publicized. Gaston noted the portal has been available on the city website since deployment and is also referenced in newsletters and Council updates. Some Council members expressed concern that the public—and even Council—had not fully engaged with or been aware of the portal and its contents, despite its availability.

Council members also referenced broader concerns about public trust and accountability, including a comparison to enforcement issues in Jerome County. Gaston responded that Bellevue's approach includes regular internal audits every 30 days, in addition to required semi-annual audits, as a safeguard for accountability and transparency.

Additional questions addressed system functionality and data use. Gaston explained that the LPR system identifies license plates against hot lists (including stolen vehicles, warrants, and Amber Alerts), and that it has assisted in several outcomes, including mental health crisis interventions, warrant arrests, and case closures.

Council also discussed the transparency portal's features, including public access to detection activity, camera locations, data-sharing partners (limited to Idaho law enforcement), and monthly activity summaries.

Questions were raised about data privacy and whether the vendor (FLOCK) can sell collected data. Gaston confirmed the contract prohibits FLOCK from selling city data.

Finally, Gaston reiterated the system's value to a small agency and noted its relatively low cost compared to its capabilities, emphasizing both operational benefits and transparency tools. The Council concluded the discussion with general appreciation for the presentation.

The two remaining items were moved to a future meeting due to time:

- c. Code Enforcement and Ticketing: Carter Bullock, Planner, Kirt Gaston, Bellevue Marshal
- d. Community Project Update - Final Design and Sound Test Summary: Carter Bullock, Planner

5. ADJOURNMENT: Action Item

With no further business coming before the Common Council at this time, Council Member Davis moved to adjourn the meeting. Council Member Bergin seconded the motion. The meeting adjourned at 8:37 p.m. The motion passed unanimously.

Christina Giordani, Mayor

Attest:

Amy Phelps, City Clerk

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Name	Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
100-01								
State Insurance Fund	31073490	1	Invoice	GF WC Insu	05/26/2026	2,716.00	100-01-50015	Workers Compensation Ins
Studio 360 Design	11459	1	Invoice	Website Management	06/01/2026	40.00	100-01-51060	Computer IT Support
DL Evans - Mayor	256305	7	Invoice	Microsoft	05/22/2026	148.50	100-01-51062	Computers - Software & Su
DL Evans - Mayor	256305	8	Invoice	Microsoft	05/22/2026	116.00	100-01-51062	Computers - Software & Su
DL Evans - Mayor	256305	12	Invoice	Mailchimp	05/22/2026	19.50	100-01-51062	Computers - Software & Su
DL Evans - Mayor	256305	14	Invoice	Microsoft	05/22/2026	2.85	100-01-51062	Computers - Software & Su
Micro Tech Systems	97381	1	Invoice	Monthly Service - June	06/01/2026	1,574.75	100-01-51062	Computers - Software & Su
DL Evans - Mayor	256305	4	Invoice	Association of Idaho Cities	05/22/2026	325.00	100-01-51080	Dues & Memberships
DL Evans - Mayor	256305	5	Invoice	Amazon	05/22/2026	15.89	100-01-51080	Dues & Memberships
ToreUp	72671	1	Invoice	Shredding Bin	05/05/2026	45.00	100-01-51080	Dues & Memberships
DL Evans - Mayor	256305	10	Invoice	Amazon- Microphone for CC Chambers	05/22/2026	5.68	100-01-52010	Office Supplies
DL Evans - Mayor	256305	15	Invoice	Amazon - Office Supplies	05/22/2026	55.87	100-01-52010	Office Supplies
DL Evans - Mayor	256305	16	Invoice	Amazon - Office Supplies	05/22/2026	18.88	100-01-52010	Office Supplies
DL Evans - Mayor	256305	17	Invoice	Amazon - Office Supplies	05/22/2026	97.78	100-01-52010	Office Supplies
DL Evans - Mayor	256305	18	Invoice	Amazon- wireless presenter remote	05/22/2026	7.59	100-01-52010	Office Supplies
DL Evans - Mayor	256305	19	Invoice	Microsoft	05/22/2026	75.60	100-01-52010	Office Supplies
Pitney Bowes Inc	1029482020	1	Invoice	Ink Cartridges & supplies	05/20/2026	170.12	100-01-52010	Office Supplies
DL Evans - Mayor	256305	13	Invoice	Albertsons - supplies	05/22/2026	28.98	100-01-52090	Supplies
First Net	2872946568	1	Invoice	Clerk & Treasurer	05/20/2026	91.50	100-01-52100	Telephone
Total 100-01:						5,555.49		
100-03								
DL Evans - Mayor	256305	9	Invoice	Canva	05/22/2026	600.00	100-03-51080	Dues & Memberships
First Net	2872946568	2	Invoice	Community Dev. Director/Planner	05/20/2026	91.50	100-03-52100	Telephone
DL Evans - Mayor	256305	1	Invoice	The Lark	05/22/2026	338.80	100-03-52124	Travel Expense
DL Evans - Mayor	256305	6	Invoice	The Lark	05/22/2026	383.80	100-03-52124	Travel Expense
Total 100-03:						1,414.10		
100-05								
Valley Wide Cooperative	A87493	1	Invoice	Fuel - Card #3816394	05/11/2026	104.52	100-05-51110	Fuel
Valley Wide Cooperative	A92381	1	Invoice	Fuel - Card #3816395	05/21/2026	10.11	100-05-51110	Fuel
Ohio Gulch Transfer Station	00360114	1	Invoice	Dump Fee - picked up refrigerator along t	05/26/2026	10.00	100-05-51177	Misc Expense
DL Evans - Fire Dept.	3087-5	1	Invoice	Forestry Suppliers - Incident Pocket Guid	05/22/2026	135.35	100-05-52090	Supplies
First Net	2872946568	3	Invoice	Fire Chief	05/20/2026	50.80	100-05-52100	Telephone
IACP	5781	1	Invoice	International Chief of Police Conference	06/01/2026	445.00	100-05-52120	Training & Meetings
Shelamer, Michael	060226	2	Invoice	Training - Criminal Apprehension - 6/22/2	06/01/2026	68.00	100-05-52120	Training & Meetings
Shelamer, Michael	060226	1	Invoice	Per Diem - Travel for Training - 6/21 & 6/	06/01/2026	102.00	100-05-52124	Travel Expense
DL Evans - Fire Dept.	3087-5	2	Invoice	Fin fire Fly Shop - Crispi Work Boots	05/22/2026	356.00	100-05-57000	Safety Equipment

Name	Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Total 100-05:						1,281.78		
100-07								
First Net	2872946568	4	Invoice	Library	05/20/2026	45.75	100-07-52100	Telephone
DL Evans - Library	4580-5	3	Invoice	Amazon	05/22/2026	238.92	100-07-55000	Library New Books
DL Evans - Library	4580-5	4	Invoice	Amazon	05/22/2026	21.03	100-07-55000	Library New Books
DL Evans - Library	4580-5	5	Invoice	NY Times	05/22/2026	4.00	100-07-55000	Library New Books
DL Evans - Library	4580-5	7	Invoice	Amazon	05/22/2026	16.11	100-07-55000	Library New Books
DL Evans - Library	4580-5	1	Invoice	Amazon	05/22/2026	29.52	100-07-55010	Library Programs
DL Evans - Library	4580-5	2	Invoice	Amazon	05/22/2026	218.87	100-07-55010	Library Programs
DL Evans - Library	4580-5	6	Invoice	TEMU.com - Summer Readig	05/22/2026	144.29	100-07-55010	Library Programs
Total 100-07:						718.49		
100-08								
Christensen Inc. dba United Oil	CL12447	1	Invoice	Fuel - Card #263953/Gaston	05/15/2026	317.84	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL12447	2	Invoice	Fuel - Card #263954/Shelamer	05/15/2026	161.06	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL12447	3	Invoice	Fuel - Card #263955/Thayer	05/15/2026	347.44	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL12447	4	Invoice	Fuel - Card #6857653/Marin	05/15/2026	335.49	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL13455	1	Invoice	Fuel - Card #263953/Gaston	05/31/2026	473.92	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL13455	2	Invoice	Fuel - Card #263954/Shelamer	05/31/2026	215.81	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL13455	3	Invoice	Fuel - Card #263955/Thayer	05/31/2026	344.94	100-08-51110	Fuel
Christensen Inc. dba United Oil	CL13455	4	Invoice	Fuel - Card #6857653/Marin	05/31/2026	97.69	100-08-51110	Fuel
First Net	2872946568	5	Invoice	Marshal & Laptops	05/20/2026	248.45	100-08-52100	Telephone
Total 100-08:						2,542.64		
100-11								
First Net	2872946568	10	Invoice	Mayor & Council	05/20/2026	320.25	100-11-52100	Telephone
Total 100-11:						320.25		
100-15								
Christensen Inc. dba United Oil	CL12448	1	Invoice	Fuel - Card #263139	05/15/2026	34.80	100-15-51110	Fuel
Christensen Inc. dba United Oil	C:12449	1	Invoice	Fuel - Card #8191665	05/15/2026	69.10	100-15-51110	Fuel
Christensen Inc. dba United Oil	CL13456	1	Invoice	Fuel - Card #263139	05/31/2026	71.75	100-15-51110	Fuel
Christensen Inc. dba United Oil	CL13457	1	Invoice	Fuel - Card #8191665	05/31/2026	145.38	100-15-51110	Fuel
Valley Wide Cooperative	A88749	1	Invoice	Fuel - Card #3816745	05/13/2026	87.93	100-15-51110	Fuel
Window Welder LLC	180565	1	Invoice	Replace broken passenger window 2023	05/20/2026	329.94	100-15-51167	R & M - Autos
Palomera, Maria	221	1	Invoice	Office Cleaning - June	06/01/2026	375.00	100-15-52050	Professional Services

Name	Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Napa Auto Parts	260352	1	Invoice	Allen wrenches	05/21/2026	30.52	100-15-52080	Small Tools & Equipment
Clearwater Power Equipment LLC	95265	1	Invoice	Weed Trimmer line	06/01/2026	38.58	100-15-52090	Supplies
Clearwater Power Equipment LLC	95299	1	Invoice	Mower belts	06/01/2026	201.37	100-15-52090	Supplies
Clearwater Power Equipment LLC	94389	1	Invoice	Weed eater parts	05/14/2026	39.99	100-15-52090	Supplies
Clearwater Power Equipment LLC	94987	1	Invoice	Weed eater parts	05/27/2026	53.65	100-15-52090	Supplies
Napa Auto Parts	261042	1	Invoice	Trailer tail light plug	05/28/2026	12.26	100-15-52090	Supplies
Sherwin-Williams	3491-0	1	Invoice	Stencils for street marking	05/12/2026	240.44	100-15-52090	Supplies
Valley Wide Cooperative	97442/9	1	Invoice	Screws for signs	05/07/2026	10.49	100-15-52090	Supplies
Valley Wide Cooperative	097544/9	1	Invoice	Sign bolts	05/12/2026	1.00	100-15-52090	Supplies
Valley Wide Cooperative	97819/9	1	Invoice	Screws for attaching signs to post	05/20/2026	19.99	100-15-52090	Supplies
First Net	2872946568	6	Invoice	Streets - 208-309-6895	05/20/2026	62.75	100-15-52100	Telephone
Lhtact2	T251926PM-	1	Invoice	Pavement Maint. Course/Tracy Peterson	06/01/2026	80.00	100-15-52120	Training & Meetings
Lhtact2	T251926PM-	2	Invoice	Pavement Maint. Course/Ethan Shoema	06/01/2026	80.00	100-15-52120	Training & Meetings
DL Evans - Mayor	256305	2	Invoice	Best Western Inn - training	05/22/2026	140.39	100-15-52124	Travel Expense
DL Evans - Mayor	256305	3	Invoice	Best Western Inn - training	05/22/2026	140.39	100-15-52124	Travel Expense
Intermountain Gas	0767343000-	1	Invoice	Fire Station	05/20/2026	47.14	100-15-52140	Utilities - Gas
Intermountain Gas	0767343000-	2	Invoice	Museum	05/20/2026	32.63	100-15-52140	Utilities - Gas
Intermountain Gas	0767343000-	3	Invoice	City Hall	05/20/2026	63.90	100-15-52140	Utilities - Gas
Intermountain Gas	0767343000-	5	Invoice	Shop	05/20/2026	63.90	100-15-52140	Utilities - Gas
Clear Creek Disposal	0001914413	1	Invoice	O'Donnell Park - May	05/29/2026	386.50	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001914414	1	Invoice	Memorial Park - May	05/29/2026	331.75	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001914415	1	Invoice	Howard Preserve Park - May	05/29/2026	193.25	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001914416	1	Invoice	City Hall - May	05/29/2026	76.35	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001914418	1	Invoice	Shop - May	05/29/2026	150.08	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001914419	1	Invoice	Fire Station - May	05/29/2026	29.14	100-15-52146	Utilities - Trash/Toilet/Recy
Clear Creek Disposal	0001914420	1	Invoice	Museum - May	05/29/2026	193.46	100-15-52146	Utilities - Trash/Toilet/Recy
White Cloud Communications, Inc	110761	1	Invoice	Radio Service - Public Works Dept. - Ma	06/01/2026	20.00	100-15-56045	Radio Fees
SLNCR Panels, LLC.	20260403-09	1	Invoice	Deposit - Sound proofing system for Pick	06/02/2026	8,770.50	100-15-58120	Construction & Improve
Rumbles Documents Solutions LL	5038819876	1	Invoice	Bobcat Toolcat - 5/15/26 - 6/14/26	05/21/2026	527.01	100-15-58150	Auto/Equipment Lease (12
The Bancorp Bank, N.A.	735945	1	Invoice	1/3 Chevy 5500 lease/June	05/29/2026	608.66	100-15-58150	Auto/Equipment Lease (12
Total 100-15:						13,759.99		
200-20								
State Insurance Fund	31073490	2	Invoice	WF WC Insur	05/26/2026	300.00	200-20-50015	Workers Compensation Ins
Caselle, Inc.	INV-19635	1	Invoice	Data Conversion Services Fees	05/29/2026	400.00	200-20-51062	Computers - Software & Su
Christensen Inc. dba United Oil	CL12448	2	Invoice	Fuel - Card #263139	05/15/2026	34.80	200-20-51110	Fuel
Christensen Inc. dba United Oil	C:12449	2	Invoice	Fuel - Card #8191665	05/15/2026	69.09	200-20-51110	Fuel
Christensen Inc. dba United Oil	CL13456	2	Invoice	Fuel - Card #263139	05/31/2026	71.74	200-20-51110	Fuel
Christensen Inc. dba United Oil	CL13457	2	Invoice	Fuel - Card #8191665	05/31/2026	145.38	200-20-51110	Fuel
DL Evans - Mayor	256305	20	Invoice	Amazon - Stand, Sit up Lift Table	05/22/2026	149.99	200-20-52010	Office Supplies

Name	Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
DL Evans - Mayor	256305	11	Invoice	Amazon - Chair & Fatigue Mat	05/22/2026	147.27	200-20-52090	Supplies
First Net	2872946568	7	Invoice	Public Works - 208-309-1609	05/20/2026	50.80	200-20-52100	Telephone
First Net	2872946568	8	Invoice	Public Works on call - 208-309-6733	05/20/2026	45.75	200-20-52100	Telephone
Intermountain Gas - Strahorn Pu	1315962483-	1	Invoice	100 Slaughterhouse - Pump Station	05/20/2026	24.81	200-20-52140	Utilities - Gas
Idaho Power	2227225774-	1	Invoice	100 Slaughterhouse Gulch Rd. Pump	05/22/2026	305.90	200-20-52143	Utilities - Power
Idaho Power	2227225774-	2	Invoice	32 Muldoon Rd. WTNK	05/22/2026	37.20	200-20-52143	Utilities - Power
Idaho Power	2227225774-	3	Invoice	400 Muldoon Rd.	05/22/2026	63.38	200-20-52143	Utilities - Power
Idaho Power	2227225774-	4	Invoice	805 Chestnut St. Pump	05/22/2026	612.61	200-20-52143	Utilities - Power
Idaho Power	2227225774-	5	Invoice	90 1/2 Tendoy St. Well	05/22/2026	58.23	200-20-52143	Utilities - Power
Idaho Power	2227225774-	6	Invoice	90 Tendoy St. Well	05/22/2026	1,302.01	200-20-52143	Utilities - Power
White Cloud Communications, Inc	110761	2	Invoice	Radio Service - Public Works Dept. - Ma	06/01/2026	20.00	200-20-56045	Radio Fees
Advanced Control Systems, LLC	42160	1	Invoice	Carefree SCADA Program - Water	05/20/2026	160.00	200-20-57500	Scada Maintenance & Rep
Rumbles Documents Solutions LL	5038819876	2	Invoice	Bobcat Toolcat - 5/15/26 - 6/14/26	05/21/2026	527.02	200-20-58150	Auto/Equipment Lease (12
The Bancorp Bank, N.A.	735945	2	Invoice	1/3 Chevy 5500 lease/June	05/29/2026	608.66	200-20-58150	Auto/Equipment Lease (12
Total 200-20:						5,134.64		
300-30								
State Insurance Fund	31073490	3	Invoice	WWF WC Insur	05/26/2026	316.00	300-30-50015	Workers Compensation Ins
Caselle, Inc.	INV-19635	2	Invoice	Data Conversion Services Fees	05/29/2026	400.00	300-30-51062	Computers - Software & Su
Christensen Inc. dba United Oil	CL12446	1	Invoice	Fuel - Card #263140	05/15/2026	146.09	300-30-51110	Fuel
Christensen Inc. dba United Oil	CL12448	3	Invoice	Fuel - Card #263139	05/15/2026	34.79	300-30-51110	Fuel
Christensen Inc. dba United Oil	C:12449	3	Invoice	Fuel - Card #8191665	05/15/2026	69.10	300-30-51110	Fuel
Christensen Inc. dba United Oil	CL13456	3	Invoice	Fuel - Card #263139	05/31/2026	71.75	300-30-51110	Fuel
Christensen Inc. dba United Oil	CL13457	3	Invoice	Fuel - Card #8191665	05/31/2026	145.38	300-30-51110	Fuel
Lunceford Excavation, Inc.	19460	1	Invoice	Replacement & setting of WW manhole c	05/29/2026	1,306.80	300-30-51160	Repairs & Maintenance (G
Valley Wide Cooperative	098032/9	1	Invoice	Parts for Tube TK. - WW Plant	05/29/2026	61.21	300-30-52090	Supplies
First Net	2872946568	9	Invoice	Public Works - 208-309-0656	05/20/2026	45.75	300-30-52100	Telephone
Go-Fer It Express Inc.	144609	1	Invoice	Delivery service for WW Samples	05/29/2026	174.30	300-30-52110	Test Samples - Sewer
Intermountain Gas	0767343000-	4	Invoice	130 Riverview Dr.	05/20/2026	49.93	300-30-52140	Utilities - Gas
Idaho Power	2227225816-	1	Invoice	1269 Glen Aspen Dr.	05/22/2026	40.95	300-30-52143	Utilities - Power
Idaho Power	2227225816-	2	Invoice	130 Riverview Dr. Lift	05/22/2026	207.89	300-30-52143	Utilities - Power
Idaho Power	2227225816-	3	Invoice	31 Alyson Rd. Lagoon	05/22/2026	975.14	300-30-52143	Utilities - Power
Idaho Power	2227225816-	4	Invoice	31 Alyson Rd. Main	05/22/2026	1,363.11	300-30-52143	Utilities - Power
Idaho Power	2227225816-	5	Invoice	80 Honeysuckle Lift	05/22/2026	32.38	300-30-52143	Utilities - Power
Idaho Power	2227225816-	6	Invoice	88 Martin Ln Lift	05/22/2026	93.25	300-30-52143	Utilities - Power
Idaho Power	2227225816-	7	Invoice	90 Tendoy St. Lift	05/22/2026	42.21	300-30-52143	Utilities - Power
Clear Creek Disposal	0001914417	1	Invoice	31 Alyson Rd. - May	05/29/2026	4.00	300-30-52146	Utilities - Trash/Toilet/Recy
White Cloud Communications, Inc	110761	3	Invoice	Radio Service - Public Works Dept. - Ma	06/01/2026	20.00	300-30-56045	Radio Fees
Advanced Control Systems, LLC	42159	1	Invoice	Carefree SCADA Program - Wastewater	05/20/2026	773.00	300-30-57500	Scada Maint & Repair
Rumbles Documents Solutions LL	5038819876	3	Invoice	Bobcat Toolcat - 5/15/26 - 6/14/26	05/21/2026	527.02	300-30-58150	Auto/Equipment Lease (12

Name	Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
The Bancorp Bank, N.A.	735945	3	Invoice	1/3 Chevy 5500 lease/June	05/29/2026	608.66	300-30-58150	Auto/Equipment Lease (12
Total 300-30:						7,508.71		
Grand Totals:						38,236.09		

Report GL Period Summary

Vendor number hash: 0
 Vendor number hash - split: 0
 Total number of invoices: 0
 Total number of transactions: 0

Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Advanced Control Systems, LLC (120)							
42160	1	Invoice	Carefree SCADA Program - Water	05/20/2026	160.00	200-20-57500	Scada Maintenance & Repairs
42159	1	Invoice	Carefree SCADA Program - Wastewater	05/20/2026	773.00	300-30-57500	Scada Maint & Repair
Total Advanced Control Systems, LLC (120):					933.00		
Caselle, Inc. (580)							
INV-19635	1	Invoice	Data Conversion Services Fees	05/29/2026	400.00	200-20-51062	Computers - Software & Subs
INV-19635	2	Invoice	Data Conversion Services Fees	05/29/2026	400.00	300-30-51062	Computers - Software & Subs
Total Caselle, Inc. (580):					800.00		
Christensen Inc. dba United Oil (640)							
CL12447	1	Invoice	Fuel - Card #263953/Gaston	05/15/2026	317.84	100-08-51110	Fuel
CL12447	2	Invoice	Fuel - Card #263954/Shelamer	05/15/2026	161.06	100-08-51110	Fuel
CL12447	3	Invoice	Fuel - Card #263955/Thayer	05/15/2026	347.44	100-08-51110	Fuel
CL12447	4	Invoice	Fuel - Card #6857653/Marin	05/15/2026	335.49	100-08-51110	Fuel
CL12446	1	Invoice	Fuel - Card #263140	05/15/2026	146.09	300-30-51110	Fuel
CL12448	1	Invoice	Fuel - Card #263139	05/15/2026	34.80	100-15-51110	Fuel
CL12448	2	Invoice	Fuel - Card #263139	05/15/2026	34.80	200-20-51110	Fuel
CL12448	3	Invoice	Fuel - Card #263139	05/15/2026	34.79	300-30-51110	Fuel
C:12449	1	Invoice	Fuel - Card #8191665	05/15/2026	69.10	100-15-51110	Fuel
C:12449	2	Invoice	Fuel - Card #8191665	05/15/2026	69.09	200-20-51110	Fuel
C:12449	3	Invoice	Fuel - Card #8191665	05/15/2026	69.10	300-30-51110	Fuel
CL13455	1	Invoice	Fuel - Card #263953/Gaston	05/31/2026	473.92	100-08-51110	Fuel
CL13455	2	Invoice	Fuel - Card #263954/Shelamer	05/31/2026	215.81	100-08-51110	Fuel
CL13455	3	Invoice	Fuel - Card #263955/Thayer	05/31/2026	344.94	100-08-51110	Fuel
CL13455	4	Invoice	Fuel - Card #6857653/Marin	05/31/2026	97.69	100-08-51110	Fuel
CL13456	1	Invoice	Fuel - Card #263139	05/31/2026	71.75	100-15-51110	Fuel
CL13456	2	Invoice	Fuel - Card #263139	05/31/2026	71.74	200-20-51110	Fuel
CL13456	3	Invoice	Fuel - Card #263139	05/31/2026	71.75	300-30-51110	Fuel
CL13457	1	Invoice	Fuel - Card #8191665	05/31/2026	145.38	100-15-51110	Fuel
CL13457	2	Invoice	Fuel - Card #8191665	05/31/2026	145.38	200-20-51110	Fuel
CL13457	3	Invoice	Fuel - Card #8191665	05/31/2026	145.38	300-30-51110	Fuel
Total Christensen Inc. dba United Oil (640):					3,403.34		
Clear Creek Disposal (690)							
0001914413	1	Invoice	O'Donnell Park - May	05/29/2026	386.50	100-15-52146	Utilities - Trash/Toilet/Recyc
0001914414	1	Invoice	Memorial Park - May	05/29/2026	331.75	100-15-52146	Utilities - Trash/Toilet/Recyc
0001914415	1	Invoice	Howard Preserve Park - May	05/29/2026	193.25	100-15-52146	Utilities - Trash/Toilet/Recyc

City of Bellevue
Hosted Live 3.11.2025

Invoice Register - Claim Report by Vendor
Input Dates: 5/27/2026 - 6/8/2026

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Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
0001914416	1	Invoice	City Hall - May	05/29/2026	76.35	100-15-52146	Utilities - Trash/Toilet/Recyc
0001914417	1	Invoice	31 Alyson Rd. - May	05/29/2026	4.00	300-30-52146	Utilities - Trash/Toilet/Recyc
0001914418	1	Invoice	Shop - May	05/29/2026	150.08	100-15-52146	Utilities - Trash/Toilet/Recyc
0001914419	1	Invoice	Fire Station - May	05/29/2026	29.14	100-15-52146	Utilities - Trash/Toilet/Recyc
0001914420	1	Invoice	Museum - May	05/29/2026	193.46	100-15-52146	Utilities - Trash/Toilet/Recyc
Total Clear Creek Disposal (690):					1,364.53		
Clearwater Power Equipment LLC (720)							
95265	1	Invoice	Weed Trimmer line	06/01/2026	38.58	100-15-52090	Supplies
95299	1	Invoice	Mower belts	06/01/2026	201.37	100-15-52090	Supplies
94389	1	Invoice	Weed eater parts	05/14/2026	39.99	100-15-52090	Supplies
94987	1	Invoice	Weed eater parts	05/27/2026	53.65	100-15-52090	Supplies
Total Clearwater Power Equipment LLC (720):					333.59		
DL Evans - Fire Dept. (970)							
3087-5	1	Invoice	Forestry Suppliers - Incident Pocket Guide	05/22/2026	135.35	100-05-52090	Supplies
3087-5	2	Invoice	Fin fire Fly Shop - Crispi Work Boots	05/22/2026	356.00	100-05-57000	Safety Equipment
Total DL Evans - Fire Dept. (970):					491.35		
DL Evans - Library (980)							
4580-5	1	Invoice	Amazon	05/22/2026	29.52	100-07-55010	Library Programs
4580-5	2	Invoice	Amazon	05/22/2026	218.87	100-07-55010	Library Programs
4580-5	3	Invoice	Amazon	05/22/2026	238.92	100-07-55000	Library New Books
4580-5	4	Invoice	Amazon	05/22/2026	21.03	100-07-55000	Library New Books
4580-5	5	Invoice	NY Times	05/22/2026	4.00	100-07-55000	Library New Books
4580-5	6	Invoice	TEMU.com - Summer Readig	05/22/2026	144.29	100-07-55010	Library Programs
4580-5	7	Invoice	Amazon	05/22/2026	16.11	100-07-55000	Library New Books
Total DL Evans - Library (980):					672.74		
DL Evans - Mayor (1000)							
256305	1	Invoice	The Lark	05/22/2026	338.80	100-03-52124	Travel Expense
256305	2	Invoice	Best Western Inn - training	05/22/2026	140.39	100-15-52124	Travel Expense
256305	3	Invoice	Best Western Inn - training	05/22/2026	140.39	100-15-52124	Travel Expense
256305	4	Invoice	Association of Idaho Cities	05/22/2026	325.00	100-01-51080	Dues & Memberships
256305	5	Invoice	Amazon	05/22/2026	15.89	100-01-51080	Dues & Memberships
256305	6	Invoice	The Lark	05/22/2026	383.80	100-03-52124	Travel Expense
256305	7	Invoice	Microsoft	05/22/2026	148.50	100-01-51062	Computers - Software & Subscri

Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
256305	8	Invoice	Microsoft	05/22/2026	116.00	100-01-51062	Computers - Software & Subscri
256305	9	Invoice	Canva	05/22/2026	600.00	100-03-51080	Dues & Memberships
256305	10	Invoice	Amazon- Microphone for CC Chambers	05/22/2026	5.68	100-01-52010	Office Supplies
256305	11	Invoice	Amazon - Chair & Fatigue Mat	05/22/2026	147.27	200-20-52090	Supplies
256305	20	Invoice	Amazon - Stand, Sit up Lift Table	05/22/2026	149.99	200-20-52010	Office Supplies
256305	12	Invoice	Mailchimp	05/22/2026	19.50	100-01-51062	Computers - Software & Subscri
256305	13	Invoice	Albertsons - supplies	05/22/2026	28.98	100-01-52090	Supplies
256305	14	Invoice	Microsoft	05/22/2026	2.85	100-01-51062	Computers - Software & Subscri
256305	15	Invoice	Amazon - Office Supplies	05/22/2026	55.87	100-01-52010	Office Supplies
256305	16	Invoice	Amazon - Office Supplies	05/22/2026	18.88	100-01-52010	Office Supplies
256305	17	Invoice	Amazon - Office Supplies	05/22/2026	97.78	100-01-52010	Office Supplies
256305	18	Invoice	Amazon- wireless presenter remote	05/22/2026	7.59	100-01-52010	Office Supplies
256305	19	Invoice	Microsoft	05/22/2026	75.60	100-01-52010	Office Supplies
Total DL Evans - Mayor (1000):					2,818.76		
First Net (1150)							
2872946568	1	Invoice	Clerk & Treasurer	05/20/2026	91.50	100-01-52100	Telephone
2872946568	2	Invoice	Community Dev. Director/Planner	05/20/2026	91.50	100-03-52100	Telephone
2872946568	3	Invoice	Fire Chief	05/20/2026	50.80	100-05-52100	Telephone
2872946568	4	Invoice	Library	05/20/2026	45.75	100-07-52100	Telephone
2872946568	5	Invoice	Marshal & Laptops	05/20/2026	248.45	100-08-52100	Telephone
2872946568	6	Invoice	Streets - 208-309-6895	05/20/2026	62.75	100-15-52100	Telephone
2872946568	7	Invoice	Public Works - 208-309-1609	05/20/2026	50.80	200-20-52100	Telephone
2872946568	8	Invoice	Public Works on call - 208-309-6733	05/20/2026	45.75	200-20-52100	Telephone
2872946568	9	Invoice	Public Works - 208-309-0656	05/20/2026	45.75	300-30-52100	Telephone
2872946568	10	Invoice	Mayor & Council	05/20/2026	320.25	100-11-52100	Telephone
Total First Net (1150):					1,053.30		
Go-Fer It Express Inc. (1300)							
144609	1	Invoice	Delivery service for WW Samples	05/29/2026	174.30	300-30-52110	Test Samples - Sewer
Total Go-Fer It Express Inc. (1300):					174.30		
IACP (4580)							
5781	1	Invoice	International Chief of Police Conference & Training	06/01/2026	445.00	100-05-52120	Training & Meetings
Total IACP (4580):					445.00		

Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Idaho Power (1600)							
2227225774-	1	Invoice	100 Slaughterhouse Gulch Rd. Pump	05/22/2026	305.90	200-20-52143	Utilities - Power
2227225774-	2	Invoice	32 Muldoon Rd. WTNK	05/22/2026	37.20	200-20-52143	Utilities - Power
2227225774-	3	Invoice	400 Muldoon Rd.	05/22/2026	63.38	200-20-52143	Utilities - Power
2227225774-	4	Invoice	805 Chestnut St. Pump	05/22/2026	612.61	200-20-52143	Utilities - Power
2227225774-	5	Invoice	90 1/2 Tendoy St. Well	05/22/2026	58.23	200-20-52143	Utilities - Power
2227225774-	6	Invoice	90 Tendoy St. Well	05/22/2026	1,302.01	200-20-52143	Utilities - Power
2227225816-	1	Invoice	1269 Glen Aspen Dr.	05/22/2026	40.95	300-30-52143	Utilities - Power
2227225816-	2	Invoice	130 Riverview Dr. Lift	05/22/2026	207.89	300-30-52143	Utilities - Power
2227225816-	3	Invoice	31 Alyson Rd. Lagoon	05/22/2026	975.14	300-30-52143	Utilities - Power
2227225816-	4	Invoice	31 Alyson Rd. Main	05/22/2026	1,363.11	300-30-52143	Utilities - Power
2227225816-	5	Invoice	80 Honeysuckle Lift	05/22/2026	32.38	300-30-52143	Utilities - Power
2227225816-	6	Invoice	88 Martin Ln Lift	05/22/2026	93.25	300-30-52143	Utilities - Power
2227225816-	7	Invoice	90 Tendoy St. Lift	05/22/2026	42.21	300-30-52143	Utilities - Power
Total Idaho Power (1600):					5,134.26		
Intermountain Gas (1730)							
0767343000-	1	Invoice	Fire Station	05/20/2026	47.14	100-15-52140	Utilities - Gas
0767343000-	2	Invoice	Museum	05/20/2026	32.63	100-15-52140	Utilities - Gas
0767343000-	3	Invoice	City Hall	05/20/2026	63.90	100-15-52140	Utilities - Gas
0767343000-	4	Invoice	130 Riverview Dr.	05/20/2026	49.93	300-30-52140	Utilities - Gas
0767343000-	5	Invoice	Shop	05/20/2026	63.90	100-15-52140	Utilities - Gas
Total Intermountain Gas (1730):					257.50		
Intermountain Gas - Strahorn Pump Statio (1740)							
1315962483-	1	Invoice	100 Slaughterhouse - Pump Station	05/20/2026	24.81	200-20-52140	Utilities - Gas
Total Intermountain Gas - Strahorn Pump Statio (1740):					24.81		
Lhtact2 (1990)							
T251926PM-	1	Invoice	Pavement Maint. Course/Tracy Peterson	06/01/2026	80.00	100-15-52120	Training & Meetings
T251926PM-	2	Invoice	Pavement Maint. Course/Ethan Shoemaker	06/01/2026	80.00	100-15-52120	Training & Meetings
Total Lhtact2 (1990):					160.00		
Lunceford Excavation, Inc. (2030)							
19460	1	Invoice	Replacement & setting of WW manhole cover	05/29/2026	1,306.80	300-30-51160	Repairs & Maintenance (Gen

Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Total Lunceford Excavation, Inc. (2030):					1,306.80		
Micro Tech Systems (2150)							
97381	1	Invoice	Monthly Service - June	06/01/2026	1,574.75	100-01-51062	Computers - Software & Subscri
Total Micro Tech Systems (2150):					1,574.75		
Napa Auto Parts (2260)							
260352	1	Invoice	Allen wrenches	05/21/2026	30.52	100-15-52080	Small Tools & Equipment
261042	1	Invoice	Trailer tail light plug	05/28/2026	12.26	100-15-52090	Supplies
Total Napa Auto Parts (2260):					42.78		
Ohio Gulch Transfer Station (2350)							
00360114	1	Invoice	Dump Fee - picked up refrigerator along the roadway	05/26/2026	10.00	100-05-51177	Misc Expense
Total Ohio Gulch Transfer Station (2350):					10.00		
Palomera, Maria (2430)							
221	1	Invoice	Office Cleaning - June	06/01/2026	375.00	100-15-52050	Professional Services
Total Palomera, Maria (2430):					375.00		
Pitney Bowes Inc (2530)							
1029482020	1	Invoice	Ink Cartridges & supplies	05/20/2026	170.12	100-01-52010	Office Supplies
Total Pitney Bowes Inc (2530):					170.12		
Rumbles Documents Solutions LL (2800)							
5038819876	1	Invoice	Bobcat Toolcat - 5/15/26 - 6/14/26	05/21/2026	527.01	100-15-58150	Auto/Equipment Lease (12+ mos)
5038819876	2	Invoice	Bobcat Toolcat - 5/15/26 - 6/14/26	05/21/2026	527.02	200-20-58150	Auto/Equipment Lease (12+ mos)
5038819876	3	Invoice	Bobcat Toolcat - 5/15/26 - 6/14/26	05/21/2026	527.02	300-30-58150	Auto/Equipment Lease (12+ mos)
Total Rumbles Documents Solutions LL (2800):					1,581.05		
Shelamer, Michael (2950)							
060226	1	Invoice	Per Diem - Travel for Training - 6/21 & 6/23/26	06/01/2026	102.00	100-05-52124	Travel Expense
060226	2	Invoice	Training - Criminal Apprehension - 6/22/26	06/01/2026	68.00	100-05-52120	Training & Meetings

Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
Total Shelamer, Michael (2950):					170.00		
Sherwin-Williams (4530)							
3491-0	1	Invoice	Stencils for street marking	05/12/2026	240.44	100-15-52090	Supplies
Total Sherwin-Williams (4530):					240.44		
SLNCR Panels, LLC. (4590)							
20260403-09	1	Invoice	Deposit - Sound proofing system for Pickleball Courts	06/02/2026	8,770.50	100-15-58120	Construction & Improvement
Total SLNCR Panels, LLC. (4590):					8,770.50		
State Insurance Fund (3110)							
31073490	1	Invoice	GF WC Insu	05/26/2026	2,716.00	100-01-50015	Workers Compensation Insurance
31073490	2	Invoice	WF WC Insur	05/26/2026	300.00	200-20-50015	Workers Compensation Insurance
31073490	3	Invoice	WWF WC Insur	05/26/2026	316.00	300-30-50015	Workers Compensation Insurance
Total State Insurance Fund (3110):					3,332.00		
Studio 360 Design (4390)							
11459	1	Invoice	Website Management	06/01/2026	40.00	100-01-51060	Computer IT Support
Total Studio 360 Design (4390):					40.00		
The Bancorp Bank, N.A. (3290)							
735945	1	Invoice	1/3 Chevy 5500 lease/June	05/29/2026	608.66	100-15-58150	Auto/Equipment Lease (12+ mos)
735945	2	Invoice	1/3 Chevy 5500 lease/June	05/29/2026	608.66	200-20-58150	Auto/Equipment Lease (12+ mos)
735945	3	Invoice	1/3 Chevy 5500 lease/June	05/29/2026	608.66	300-30-58150	Auto/Equipment Lease (12+ mos)
Total The Bancorp Bank, N.A. (3290):					1,825.98		
ToreUp (3360)							
72671	1	Invoice	Shredding Bin	05/05/2026	45.00	100-01-51080	Dues & Memberships
Total ToreUp (3360):					45.00		
Valley Wide Cooperative (3510)							
97442/9	1	Invoice	Screws for signs	05/07/2026	10.49	100-15-52090	Supplies
A87493	1	Invoice	Fuel - Card #3816394	05/11/2026	104.52	100-05-51110	Fuel
A92381	1	Invoice	Fuel - Card #3816395	05/21/2026	10.11	100-05-51110	Fuel

Invoice	Seq	Type	Description	Invoice Date	Total Cost	GL Account	GL Account Description
A88749	1	Invoice	Fuel - Card #3816745	05/13/2026	87.93	100-15-51110	Fuel
097544/9	1	Invoice	Sign bolts	05/12/2026	1.00	100-15-52090	Supplies
098032/9	1	Invoice	Parts for Tube TK. - WW Plant	05/29/2026	61.21	300-30-52090	Supplies
97819/9	1	Invoice	Screws for attaching signs to post	05/20/2026	19.99	100-15-52090	Supplies
Total Valley Wide Cooperative (3510):					<u>295.25</u>		
White Cloud Communications, Inc. (3650)							
110761	1	Invoice	Radio Service - Public Works Dept. - May	06/01/2026	20.00	100-15-56045	Radio Fees
110761	2	Invoice	Radio Service - Public Works Dept. - May	06/01/2026	20.00	200-20-56045	Radio Fees
110761	3	Invoice	Radio Service - Public Works Dept. - May	06/01/2026	20.00	300-30-56045	Radio Fees
Total White Cloud Communications, Inc. (3650):					<u>60.00</u>		
Window Welder LLC (3680)							
180565	1	Invoice	Replace broken passenger window 2023 Chevrolet Silverado 5500 T	05/20/2026	329.94	100-15-51167	R & M - Autos
Total Window Welder LLC (3680):					<u>329.94</u>		
Grand Totals:					<u><u>38,236.09</u></u>		

Report GL Period Summary

Vendor number hash:	0
Vendor number hash - split:	0
Total number of invoices:	0
Total number of transactions:	0

Bellevue Marshal's Office



115 E Pine Street
 PO Box 825
 Bellevue, ID 83313
 Phone: 208-788-3692
 Fax: 208-788-8526

City Council Report

Date: 06/02/2026

May Report

In April, the Bellevue Marshal's Office responded to a total of 387 calls for service (CFS), which resulted in:

Year to Date

26 case reports

59 citations issued

7 arrests made

Call for service	1,667
Case Reports	130
Citations	3360
Arrests	51
ALPR plate reads	2,439,607
ALPR Searches	13

May was a busier month for the Marshal's Office, and we anticipate calls for service will continue to increase as we move into the summer season. While this increase in activity presents challenges, particularly given our current staffing levels of only three officers, we have remained committed to providing 24/7 coverage for the City.

Maintaining this level of service has required our officers to work extended shifts and additional hours. I would like to express my sincere appreciation to our officers for their dedication and willingness to step up when needed. Their commitment to serving our community often comes at a personal sacrifice to themselves and their families, and their efforts do not go unnoticed.

During May, Sgt. Shelamer and I attended the Idaho Chiefs of Police Conference. The conference provided valuable opportunities to network with law enforcement leaders from across Idaho and participate in executive leadership training sessions that will benefit our agency and community.

Additionally, Sgt. Shelamer and his wife attended the Stronger Families Seminar in Boise. This program focused on the unique challenges faced by law enforcement officers

and their families, while providing resources³⁶ and strategies to strengthen family relationships and resilience. We are grateful that this seminar was made available at no cost through the generosity of the Blaine County Law Enforcement Fund.

The Bellevue Marshal's Office remains committed to providing professional law enforcement services while continuing to invest in leadership development, officer wellness, and family support initiatives that strengthen our agency and our community.

If you ever have questions, please feel free to contact me.

Thank you,
K. Gaston



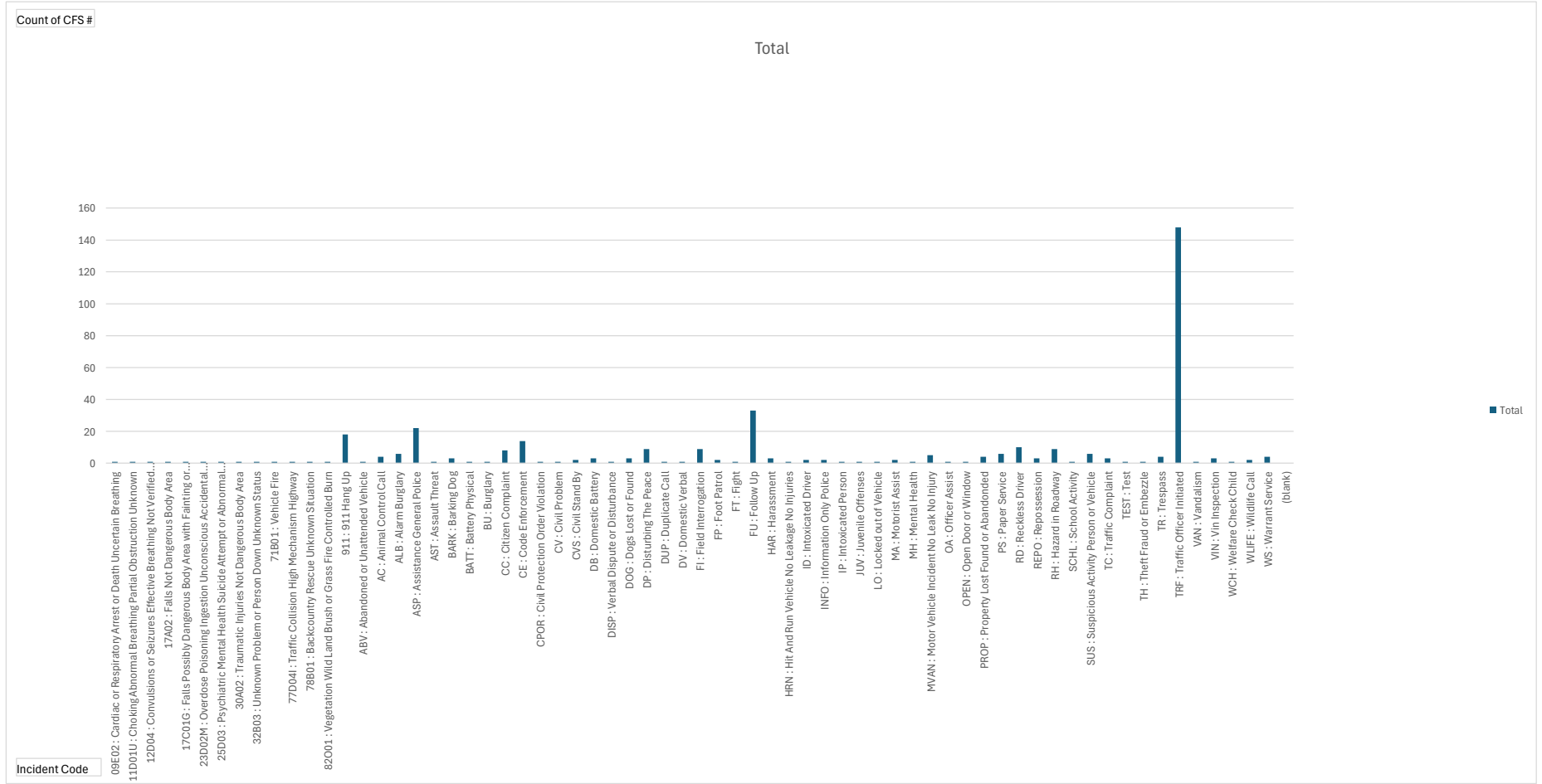
Bellevue Marshal's Office
 115 E Pine Street
 PO Box 825
 Bellevue, ID 83313
 208-7883692

Cases by Month

Printed on June 2, 2026

	Start Date/Time	Primary Officer	Statutes/Offenses	Disposition
BMO20260130	05/29/26 19:58	Thayer, Joseph	OFF - OFFICER REPORT	OFF - OFFICER
BMO20260125	05/25/26 15:26	Gaston, Kirtus	18-7001 - MALICIOUS INJURY TO	18-7001 - MALICIOUS
BMO20260131	05/30/26 08:07	Gaston, Kirtus	18-7008 - CRIMINAL TRESPASS -	18-7008 - CRIMINAL
BMO20260129	05/26/26 17:24	Gaston, Kirtus	18-2403 - THEFT - PETIT:	18-2403 - THEFT -
BMO20260128	05/26/26 15:19	Gaston, Kirtus	Traffic Crash	Traffic Crash
BMO20260122	05/21/26 10:12	Gaston, Kirtus	3.203 - BMO - Noise Ordinance	3.203 - BMO - Noise
BMO20260126	05/25/26 22:01	Shelamer, Mike	49-301 - MOTOR VEHICLES -	49-301 - MOTOR
BMO20260127	05/26/26 08:15	Gaston, Kirtus	49-637 - MOTOR VEHICLES -	49-637 - MOTOR
BMO20260124	05/23/26 12:32	Thayer, Joseph	18-7008 - CRIMINAL TRESPASS -	18-7008 - CRIMINAL
BMO20260123	05/23/26 11:34	Thayer, Joseph	3.205 - BMO - Fail to Secure Permit	3.205 - BMO - Fail to
BMO20260121	05/20/26 06:52	Gaston, Kirtus	OFF - OFFICER REPORT	OFF - OFFICER
BMO20260120	05/19/26 05:46	Thayer, Joseph	10-50 WILDLIFE - TRAFFIC	10-50 WILDLIFE -
BMO20260112	05/08/26 16:45	Thayer, Joseph	18-6710 - TELEPHONE TO ANNOY,	18-6710 - TELEPHONE
BMO20260119	05/17/26 19:51	Marin, Emanuel	18-7008 - CRIMINAL TRESPASS -	18-7008 - CRIMINAL
BMO20260118	05/15/26 22:40	Marin, Emanuel	BCC Civil - BMO - Civil City	BCC Civil - BMO - Civil
BMO20260117	05/14/26 13:47	Thayer, Joseph	OFF - OFFICER REPORT	OFF - OFFICER
BMO20260116	05/14/26 03:42	Marin, Emanuel	OFF-WELFARE - OFFICER	OFF-WELFARE -
BMO20260115	05/13/26 09:05	Thayer, Joseph	BCC Civil - BMO - Civil City	BCC Civil - BMO - Civil
BMO20260110	05/07/26 22:02	Shelamer, Mike	18-7001 - MALICIOUS INJURY TO	18-7001 - MALICIOUS
BMO20260111	05/08/26 22:17	Shelamer, Mike	19-512 - WARRANT ARREST MIS	19-512 - WARRANT
BMO20260114	05/10/26 23:07	Shelamer, Mike	18-8001 - DRIVING WITHOUT	18-8001 - DRIVING
BMO20260113	05/10/26 12:20	Thayer, Joseph	10-50 - TRAFFIC ACCIDENT	10-50 - TRAFFIC
BMO20260109	05/04/26 13:30	Thayer, Joseph	49-637(1) - MOTOR VEHICLES -	49-637(1) - MOTOR
BMO20260106	05/02/26 18:06	Marin, Emanuel	18-6409 - DISTURBING THE	18-6409 - DISTURBING
BMO20260107	05/03/26 12:53	Gaston, Kirtus	OFF-WELFARE - OFFICER	OFF-WELFARE -
BMO20260105	05/01/26 13:23	Gaston, Kirtus	18-1508 - LEWD CONDUCT WITH	18-1508 - LEWD

Total Records: 26





Bellevue Marshal's Office
 115 E Pine Street
 PO Box 825
 Bellevue, ID 83313
 208-7883692

BMO Citation - By Officer, By Offense

Printed on June 2, 2026

[Citation->Issued Date/Time] is between '2026-05-01 00:00:00' and '2026-05-31 23:59:59' and

[Involvement->Case->Primary Officer->Agency->Name] is in this list 'E'Bellevue Marshal's Office"

Ticket #

Gaston, Kirtus

3619

BMO - Noise Ordinance Total: 1

BEP350-0912

DRIVING WITHOUT PRIVILEGES - misdemeanor Total: 1

BEP350-0908

BEP350-0898

BEP350-0901

BEP350-0897

BEP350-0914

MOTOR VEHICLES - DRIVERS LICENSE FAIL TO PURCHASE/INVALID Total: 5

BEP350-0897

MOTOR VEHICLES - FAIL TO MAINTAIN LIABILITY INSURANCE - infraction Total: 1

BEP350-0905

MOTOR VEHICLES - FAILURE TO SECURE LOAD COVERING Total: 1

BEP350-0913

BEP350-0914

MOTOR VEHICLES - IMPROPER OR UNSAFE LANE CHANGE Total: 2

BEP350-0906

MOTOR VEHICLES - IMPROPER RIGHT TURN Total: 1

BEP350-0910

BEP350-0900

BEP350-0911

MOTOR VEHICLES - IMPROPER USE OF CENTER LANE Total: 3

BEP350-0897

MOTOR VEHICLES - REGISTRATION - FAIL TO REGISTER ANNUALLY Total: 1

BEP350-0902

BEP350-0899

BEP350-0903

BEP350-0907

MOTOR VEHICLES - SPEED - EXCEED MAXIMUM SPEED LIMIT Total: 4

BEP350-0904

MOTOR VEHICLES - UNSAFE TURN IN OPPOSITE DIRECTIONS Total: 1

Ticket #

BEP350-0909

MOTOR VEHICLES - YIELD SIGN - FAIL TO YIELD Total: 1**Gaston, Kirtus Total: 22****Marin, Emanuel**

3520

BMO - Civil City Ordinances Total: 1

BEP355-0233

DRIVING WITHOUT PRIVILEGES - infraction Total: 1

BEP355-0241

LIQUOR - FAIL TO PRESENT IDENTIFICATION Total: 1

BEP355-0239

MOTOR VEHICLES - DISTRACTED DRIVING Total: 1

BEP355-0235

BEP355-0236

BEP355-0239

BEP355-0232

MOTOR VEHICLES - DRIVERS LICENSE - INFRACTION Total: 4

BEP355-0232

MOTOR VEHICLES - DRIVERS LICENSE - MOTORCYCLE ENDORSEMENT Total: 1

BEP355-0242

**MOTOR VEHICLES - FAIL TO STOP WHEN EMERGING FROM ALLEY, DRIVEWAY, BUILDING
Total: 1**

BEP355-0241

MOTOR VEHICLES - PEDESTRIAN UNDER THE INFLUENCE Total: 1

BEP355-0234

MOTOR VEHICLES - REGISTRATION - FAIL TO CARRY IN VEHICLE Total: 1

BEP355-0237

MOTOR VEHICLES - SAFETY RESTRAINT OPERATOR/OCCUPANT 18 OR OLDER Total: 1

BEP355-0240

MOTOR VEHICLES - SPEED - EXCEED MAXIMUM SPEED LIMIT Total: 1

BEP355-0238

MOTOR VEHICLES - VEHICLE OPERATE WHEN UNSAFE OR IMPROPERLY EQUIPPED Total: 1

BEP355-0232

MOTOR VEHICLES - VIOLATIONS OF REGISTRATION PROVISIONS Total: 1

BEP355-0241

RESISTING AND OBSTRUCTING OFFICERS Total: 1**Marin, Emanuel Total: 17****Shelamer, Mike**

BEP365-0976

Ticket #

DRIVING WITHOUT PRIVILEGES - misdemeanor Total: 1

BEP365-0971

MALICIOUS INJURY TO PROPERTY - misdemeanor Total: 1

BEP365-0979

BEP365-0972

BEP365-0973

MOTOR VEHICLES - DRIVERS LICENSE - INFRACTION Total: 3

BEP365-0980

MOTOR VEHICLES - DRIVERS LICENSE - MISDEMEANOR Total: 1

BEP365-0979

MOTOR VEHICLES - IMPROPER RIGHT TURN Total: 1

BEP365-0974

BEP365-0978

BEP365-0982

BEP365-0981

MOTOR VEHICLES - SPEED - EXCEED MAXIMUM SPEED LIMIT Total: 4

BEP365-0975

BEP365-0977

MOTOR VEHICLES - SPEED - EXCEED MAXIMUM SPEED LIMIT - commercial vehicle Total: 2

Shelamer, Mike Total: 13

Thayer, Joseph

BEP370-0631

MOTOR VEHICLES - DISTRACTED DRIVING Total: 1

BEP370-0630

MOTOR VEHICLES - DRIVERS LICENSE FAIL TO PURCHASE/INVALID Total: 1

BEP370-0630

BEP370-0632

MOTOR VEHICLES - FAIL TO YIELD TO PEDESTRIAN IN CROSSWALK Total: 2

BEP370-0628

MOTOR VEHICLES - IMPROPER OR UNSAFE LANE CHANGE Total: 1

BEP370-0633

MOTOR VEHICLES - SPEED - EXCEED MAXIMUM SPEED LIMIT - commercial vehicle Total: 1

BEP370-0629

TRAFFIC ACCIDENT Total: 1

Thayer, Joseph Total: 7

Total Records: 59

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Memorandum

To: Bellevue Common Council

From: Brian Parker, Community Development Director

Re: Department Report

Date: June 8, 2026

Building

In May, Staff received the following building permit applications:

Permit Type	Date Applied	Application Progress	Latest Inspection Date
Fence Permit	05/27/2026		
Roof Permit	05/28/2026		06/03/2026
Fence Permit	05/21/2026		
Building Permit	05/21/2026		
Fence Permit	05/08/2026		
Roof Permit	05/06/2026		05/29/2026
Roof Permit	05/29/2026		
Fence Permit	05/04/2026		
Building Permit	05/21/2026		

Current Planning

In May, Staff received the following land use applications:

Permit Type	Permit Type (select all tha...	Date Applied	Application Progress
Land Use	Floodplain Development	05/27/2026	
Land Use	Floodplain Development	05/27/2026	
Land Use	Design Review	05/02/2026	
Land Use	Floodplain Development	05/27/2026	

Long Range Planning

The Comprehensive Plan Advisory Committee has been organizing into small groups to work on individual chapters of the Comprehensive Plan.

Grants

SMILES Grant

The Pop-Up Plaza event will be on June 18th and 19th in coordination with outreach on the BURA Historic Downtown Alleyway Improvement Project.

Blaine County Climate Smart Communities Initiative

The Volunteer Training Event for the Tree Inventory was conducted on May 12, 2026. Ten (10) volunteers joined and learned all about the importance of urban forests and process of inventorying trees!

Staff was contacted by the Wood River Land Trust regarding \$5,000 of a prior Climate Smart Communities Initiative grant that needed to be expended by July 1, 2026 for the installation of a native plant garden. A similar project was already in the works as part of the Blue Cross Foundation Community Project, meaning that the City was well positioned to take advantage of the opportunity. A volunteer planting day has been organized for June 18th.

Enclosures:

1. Pop Up Plaza Event Poster
2. Native Garden Planting Volunteer Poster

VOLUNTEERS NEEDED!

Native Garden Planting Workshop

**Thursday, June 18th
Memorial Park, Bellevue
10am- 1pm**

*Join us for a hands-on native planting workshop.
All materials provided!*

**Support
Pollinators**

**Reduce
Water Use**

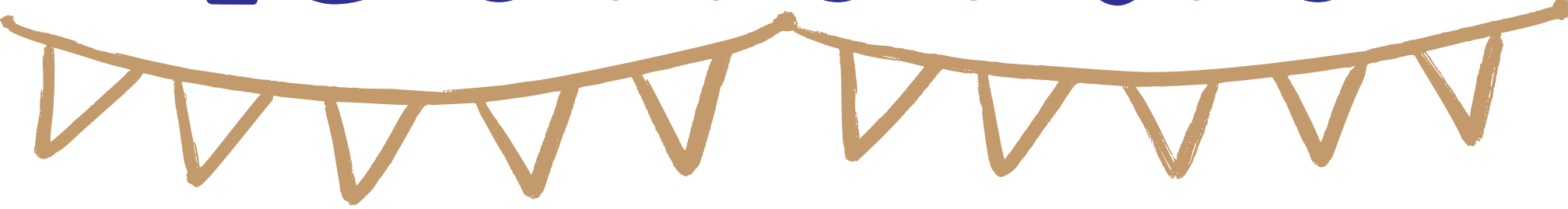
**Learn how to be
Trout Friendly**

**Free and open to the community-
RSVP requested.**





Belleuve



POP-UP PLAZA

Oak Street & Main

Thursday, June 18, 4-9pm

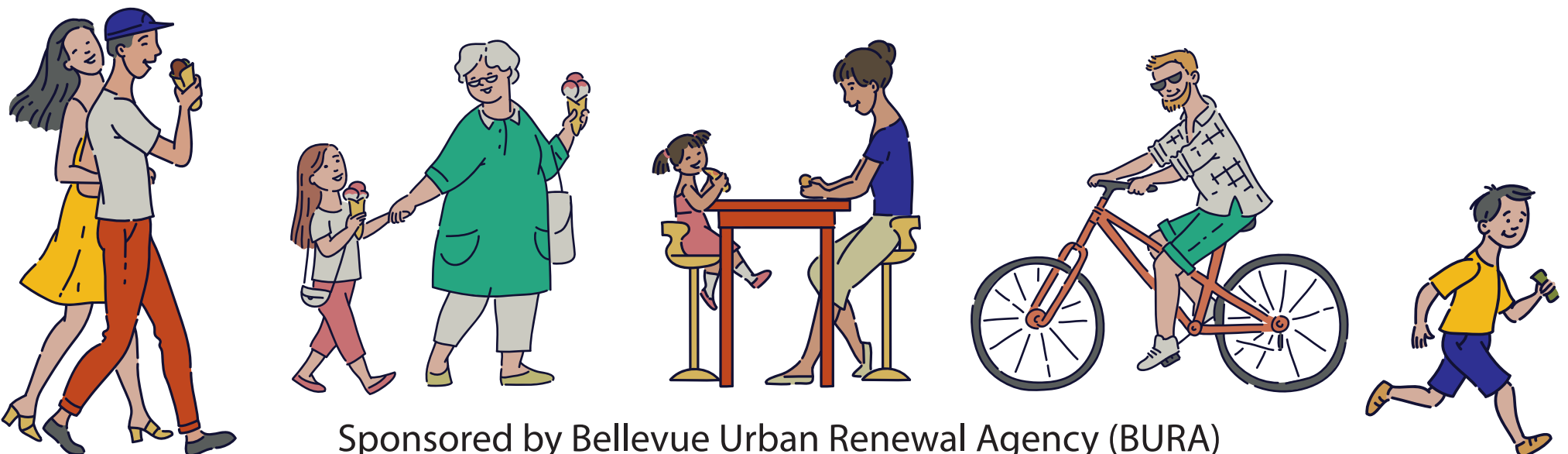
GAMES + FOOD + MUSIC

Public plaza demonstration workshop from 4:30-7:30,
provide feedback on design options!

Friday, June 19, 4-7pm

COMMUNITY MARKET

Market stalls, games, food truck, and open plaza space



Sponsored by Bellevue Urban Renewal Agency (BURA)



Memorandum

To: Mayor Giordani and The Bellevue Common Council

From: Amy Phelps, City Clerk

Re: Department Report

Date: June 8, 2026

The Bellevue Clerk's office exists to provide administrative services to the city as well as maintain city records and regulate city licensing. Additionally, the Clerk supports the legislative work of the Mayor and Common Council.

Licensing:

- New Business License Applications: 1
- Mobile Food Vendor License Application : 1

Public Records Request:

- Public Records Requests for the Month of May: 6

Department budget discussions remain ongoing as staff continue working to develop budget recommendations that align departmental goals and operational needs with available funding resources.

Efforts have also begun to organize and reduce overflow within the City's storage unit in order to improve overall records management and storage efficiency.

In preparation for maternity leave beginning at the end of July, advanced planning is underway to help ensure continuity of essential Clerk's Office operations during my absence. A temporary part-time Clerk position has been posted on the City website and is scheduled to appear in the newspaper next week. The position is intended to provide support for necessary administrative functions and assist in maintaining daily operations until my return from leave.

Human Resources responsibilities and routine administrative operations continue as normal.

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Bellevue Fire Department

- 517 N 2nd street Po Box 825, Bellevue Idaho 83313
- Phone (208)788-9277 Fax (208)7882092

**Bellevue Fire Department
Council Report- June 8th, 2026**

**Prepared by:
Amberle Molyneux, Deputy Chief
Date: June 2, 2026**

Department Initiatives

The Bellevue Fire department is actively working on the following initiatives:

1. **Retirement:** Chief Greg Beaver has unfortunately decided to retire. The whole department has been making adjustments for this announcement and new leadership. We are sad to see him go but happy to see him enjoy his retirement.
2. **Swiftwater Rescue:** The fire department participates in any needed river rescue with the assistance of many other local departments. They work on swimmer and bank communication, hose bag deployment, and proper victim retrieval.
3. **Chiefs meeting:** Grerg and Amberle both attended the local chiefs meeting, where urban interface mitigation, radio communications, and mutual aid agreements were discussed.
4. **Recruitment:** If you know someone who lives in Bellevue or within a 10mile radius of the station and wants to give back to the community, please refer them to us.

Incident Reports – January 1st to June 1st 2026

- **Total Incidents:** 54
- **Average turnout per incident:** 2
- **Overall Average Response Time:** 6 minutes, 56 seconds



Memorandum

To: Mayor Giordani and Bellevue Common Council

From: Kristin Gearhart, Library Director

Re: Department Report

Date: June 2, 2026

Mayor and Council:

Here is what has been happening at the library.

- The Big Wood River Library District passed with county voters on May 19, 2026. Our District has been legally established and our new Board members have been appointed by the Blaine County Commissioners effective June 2, 2026.
- Tech Corner was last offered on May 5, from 11-1 pm. We have decided to hold this series on the first Tuesday of each month. We may pause this program for the summer months.
- The Bellevue Public Library is excited to kick off the 2026 Children's Summer Reading Program beginning Wednesday, June 17 - July-15! Adult Summer Reading opens up May 26th. This year's theme is "Unearth a Story" and we invite all ages to "dig deep" into stories about Dinosaurs and the past.

Ages 0-5: Join us every Wednesday at 10:00 a.m. for free in-person programming on the library lawn (located beside the library). Families of all ages are welcome to enjoy weekly story times, crafts, songs, and engaging activities throughout the summer.

Children ages 0-7 must attend with a caregiver or trusted adult. Children ages 8-12 are welcome to attend independently or with a caregiver.

Junior Book Buddies, Ages 6-8: This age group will meet every Thursday from 11-12 p.m. to share Dinosaur facts and stories. Crafts and foosball provided. Log your books to win prizes.

Book Buddies, Ages 9-13: This age group will meet every Thursday from 12-1pm, June 17-July 15. Here we will meet up, socialize and group talk about books we enjoy or are looking forward to reading. Snacks included. Log and write short book reviews to win prizes.

Teens: Teens can participate by reading all summer long and sharing what they've read by filling out a short book review. Each book read will earn teens a ticket to be entered into the "Teen Bike Raffle." Winner will take home a GIANT Sedona bike.

Adults: Our theme this summer is also "**Unearth a Story.**" Passports will again be handed out, and each completed activity will be stamped and earn you a ticket to an end-of-summer drawing. The program wraps up after **Labor Day weekend**. Entries can be submitted at the BPL throughout the summer up until **Tuesday, Sept. 8 at 2 p.m.** -- Drop by the library and get your activities stamped to be issued drawing tickets.

Bellevue's (top two) Grand Prize winners will be invited to a **dinner gathering at the Hemingway House** to be held in mid-September. Each winner can bring a guest and attendees will enjoy a tour of the home and informal dinner on the lawn.

- All this and more happening at the BELLEVUE LIBRARY!!! 🟡 Taylor Swift has invited Harry Styles to her wedding. As always, children's story time, Wednesdays at 11:45 am. For more up to date library information and PICTURES of our events, please like us on Facebook!

~Kristin

New Books:

Anatomy of An Alibi by Ashley Easton

Before I Forget by Tory Henwood Hoen

Sonia and Sunny by Kiran Desai

How To Write A Love Story by Catherine Walsh

Yesteryear by Caro Claire Burke

What I'm Reading: Yesteryear by Caro Claire Burke



Public Works June 8th Update

City Assets

Assets have been busy trying to keep up with the weeds both in alley and sprouting up in and alongside our sidewalks.

With all the weed trimmer use there has been plenty of in housework on keeping them running. We lost (broke/worn-out) a couple major drive belts on our sit-down mower which were back ordered for over two weeks. Today we got it back together and finally got the bike path mowed and Chestnut Pump station lawn. Tomorrow we will finish the rest of the mowing.

We leveled up the Fire station parking area, watered for compaction and rolled it. Tomorrow we will go to Memorial Park and see what we can do to help Community Development on starting their garden project by removing gravel from between the pavilion and the north sidewalk.

We just signed and will be doing our for project starting on Oak st. Chestnut loop, Sunrise Sub, Slaughterhouse to 8th, beginning the 22nd of this month. Lots to do to get ready before that date comes. Is anyone a certified flagger? You are more than welcome to come to help on the fog project if you are available.

Water

Meter Project

Lots of work behind the scenes is going on for the water meter project. Kayme continues making sure Neptune and Caselle communicate correctly. Staff has been in the field getting accurate information on commercial meters. This includes meter locations, status of meter, size, etc. All this information will help us reach the goal of having all commercial meters being read by FY27. We also collect pictures and attach them in Caselle for better tracking and locating along with more efficiency



and continuity of information management. After exhausting all other options, it has been determined that a meter audit of the entire town will need to take place to confirm the correct meter and address are accounted for in Caselle. This is anticipated to be wrapped up by the end of June. Field and office staff will be working closely to keep data entry into Caselle up to date on a rolling basis. Once this project is underway and we can more accurately project detailed timelines for residents there will be a community education campaign rolled out. Since we want to make sure and only provide accurate information to residents, we will not be showing usage until after the meter audit is complete. Kayme will be attending AIC. She has also been communicating with Caselle about adjusting the time of month when reads are collected. Instead of doing it in the middle of the month, as the meter reading launch happens it will be adjusted to read at the end of the month. Billing processes should be expedited with the ability to transfer data from Neptune to Caselle.

Water Project

We have developed a plan to begin confirming our flow assessments at the spring sites and diversion points. Currently we have devices at the chlorination building, the upper and lower spring diversion box and at the inflow to the reservoir. The two devices at the springs use the old weir boxes and water levels measured by radar devices to calculate flow and we question the accuracy of the readings. The meter at the reservoir was installed last spring and we have confidence in it but we cannot calculate the losses between the springs and the reservoir and by our water right we need to know what we are taking at our lowest point of diversion. We have purchased a new portable meter that will allow us to collect data at different sites to ensure what flow rates we are collecting from each spring location and the combined flows at our lowest point of diversion as documented by our water rights.

The final Facility Plan has been submitted and is under review by DEQ.

Water Operations

We have received our PFAS sample from our upper and lower spring diversion box which was a new requirement for this year. The



results showed non-detect. We will take another sample in the next 6 months as part of our required monitoring schedule.

We are seeing reservoir levels fluctuate between 12ft and 7ft during irrigation times. The wells automatically turn on when the tank drops below 8ft and shuts off at 11 ft. We maintain a minimum 6ft reserve for fire flow needs. We are seeing an average daily production of 1.43 million gallons which is in line with our historical data. Current spring flows remain constant with no apparent change as we head into summer.

Wastewater

Plant Progress

Veolia has had some delays in fabrication, and they are bundling our orders to reduce shipping costs. We expect to see shipments beginning in the next couple of weeks and their team is scheduled to be onsite from July 13th-24th for installation and start up.

Current misinformation on social media has been addressed. Video claiming raw sewage was overflowing into a creek is false. We are operating the facility in a manner that it was never designed to do for a duration that it was never meant for. Treated water was overflowing at the headgates where we divert treated water to the infiltration basins or to land application. There was visible flow but there is a berm that is around 3-4 ft that prevents flows to the irrigation canal.

Irrigation began May 1st. We also saw the peak runoff in the month of May. With the canals full, the river full, and irrigation we see changes in the water level and our infiltration levels. We also have seen cooler overall temperatures which limit evaporation, so our lagoons and RI Basins are fuller than normal. We have a pivot that irrigates 26 acres adjacent to the RI Basins and its last tower and span enters the RI Basins travels through them and then exits. The last couple weeks of May I tried working with the landowner to turn off the sprinklers as the pivot passed through. He accommodated a couple passes but it continued running until May 28th



when he turned it off to harvest. The volume of flow entering the RI Basins is marginal compared to the volume we discharge how ever it is the composition of the untreated irrigation water diluting our treated water which affects our chlorine residual. This hampers our ability to get a sample that we can submit or increases the likelihood of high total coliform in our sample. To ensure we have a significant residual of at least .05 ppm we increase the discharge flows.

Since the irrigation has stopped while the hay is being harvested, we have been able to reduce our flows and have seen a significant reduction in the levels at the RI Basins.

We continue to monitor the overflow at the headgates. We typically allow discharges flow of 130 gpm into the RI Basin using gravity and head pressure but will see some overflow. When we turn on the discharge pump and flow at 400-500 gpm, we do not see any overflow. We are adjusting operations to stop flows unless we are actively discharging with our pump. We will continue to monitor this and prevent what overflow we can. Again, this is treated water, and it is not overflowing into the canal.

Collections

We continue to see high levels of Fats, Oils, and Grease (FOGs) collecting in our lift stations and remind residents and customers that these and materials such as “flushable wipes” and other products should be disposed of in the garbage and not drains.

Complete	In Progress	Waiting
----------	-------------	---------

#	Work Item	Employee	Anticipated Completion Date	Actual Completion Date
1	Make list of mismatched MIU/Meter/Addresses, enter/cross reference all the physical meter	KB	August 14, 2025	August 7, 2025, all data that had been collected, not physical checks



	tags with information in Caselle			
2	Neptune Data Sinking with COB Tablets, and accounts.	KB/CJ	March 2026	April 2026
3	Meter Audit all of town. All meters will need to be located and imported to a GIS reference system this will then connect with Neptune Read	Water dept staff	July 2026	
4	Education Campaign: provide citizens updates through our official city newsletter, physical mailers, updates on express bill pay, social media posters, and COB website	KB	Ongoing	Ongoing
5	Create information insert for physical bills and electronic bills giving update on metered rate	KB	summer	
6	Update rates with current EDU	KB	May	May
7	Breakdown/itemize water bills to show metered water usage, bond fees, etc.	KB	Bill is created in Caselle. We are waiting to make sure the correct addresses are attached to all meters before showing usage.	
8	Mitigation Plan for "no-read meters": battery	CJ & KB	Ongoing, lots of this will be accomplished	



City of Bellevue
115 E Pine Street | PO Box 825
Bellevue, ID 83313
208-788-2128 Fax 208-788-2092
www.bellevueidaho.us

	life, replacement needs etc.		when all meters are tracked through the meter audit.	
9	Monitor/Adapt any pinch points with reads	CJ/KB	Ongoing	
10	Bill for metered usage	KB	October/FY'27, this will be sent in November reflecting the previous month.	



Analytical Results Report For:

City of Bellevue - Idaho

Project Number:

PFAS 533

Anatek Work Order:

MGD0962

Anatek Labs, Inc.

1282 Alturas Drive - Moscow, ID 83843 - (208) 883-2839 - email moscow@anateklabs.com
504 E Sprague Ste. D - Spokane, WA 99202 - (509) 838-3999 - email spokane@anateklabs.com

Lab Federal ID#:	See Below	Lab/Sample Number:	MGD0962-01
Date Received:	04/29/2026	Date Reported by Lab:	06/01/2026
Compliance Sample:	Yes	Replacement Sample:	No
Collect Date:	04/22/2026	Collection Time:	10:30
Sample Type:	Raw Water		
PWS#:	ID5070004	PWS Name:	City of Bellevue - Idaho
Sample Point/ Location:	Diversion Box	Tag#/Facility ID:	ID5070004TM
Contact Name:	AJ Gray	Contact Phone:	See Signature Page
Lab Federal ID#:	ID00013		

Public Drinking Water System Analysis Report

PFAS Analysis Report:

FRDS	Analyte	Result	Units	MCL	MRL	Analyzed	Analyst	Method	Qualifier
	11CI-PF3OUdS	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	4:2FTS	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	6:2FTS	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	8:2FTS	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	9CI-PF3ONS	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	ADONA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	HFPO-DA	ND	ng/L	10	2.00	5/6/26 2:18	JJ	EPA 533	
	NFDHA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFBA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFBS	ND	ng/L	2000	2.00	5/6/26 2:18	JJ	EPA 533	
	PFDA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFDoA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFEESA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFHpA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFHpS	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFHxA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFHxS	ND	ng/L	10	2.00	5/6/26 2:18	JJ	EPA 533	
	PFMBA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFMPA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFNA	ND	ng/L	10	2.00	5/6/26 2:18	JJ	EPA 533	
	PFOA	ND	ng/L	4	2.00	5/6/26 2:18	JJ	EPA 533	
	PFOS	ND	ng/L	4	2.00	5/6/26 2:18	JJ	EPA 533	
	PFPeA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFPeS	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*
	PFUnA	ND	ng/L		2.00	5/6/26 2:18	JJ	EPA 533	*

AJ Gray
City of Bellevue - Idaho
4349 N 1200 E
Bellevue, ID 83316
(208) 316-7659

Authorized Signature,



Justin Doty For Todd Taruscio, Laboratory Manager

Anatek Labs, Inc.

1282 Alturas Drive - Moscow, ID 83843 - (208) 883-2839 - email moscow@anateklabs.com
504 E Sprague Ste. D - Spokane, WA 99202 - (509) 838-3999 - email spokane@anateklabs.com

MRL Minimum Reporting Level
ND Not Detected
MCL EPA's Maximum Contaminant Level
Dry Sample results reported on a dry weight basis
* Not a certified analyte

This report shall not be reproduced except in full, without the written approval of the laboratory
The results reported related only to the samples indicated.

Anatek Labs, Inc.

1282 Alturas Drive - Moscow, ID 83843 - (208) 883-2839 - email moscow@anateklabs.com
504 E Sprague Ste. D - Spokane, WA 99202 - (509) 838-3999 - email spokane@anateklabs.com

Certifications

Code	Description	Facility	Number
IDHW	Idaho	Anatek-Moscow, ID	ID00013



ANATEK LABS, INC - Multi-state Certified, NELAC Accredited

504 E Sprague Ave, Ste D Spokane, WA 99202 | (509) 838-3999 | EPA# WA00169
 1282 Alturas Drive Moscow, ID 83843 | (208) 883-2839 | EPA# ID00013
 4802 Tieton Drive, Yakima WA 98908 | (509) 225-9404 | EPA# WA01292
 3019 GS Center Road, Wentachee WA 98801 | (509) 701-8362 | EPA# WA01293

MGD0962
 MGD0962
 Due: 05/13/26

Idaho Chain of Custody - Drinking Water Analysis

WATER SYSTEM City of Bellevue
 SEND REPORT TO City of Bellevue
 ADDRESS Po Box 825
 CITY STATE ZIP Bellevue ID 83313

Water System # ID 5070004
 Phone Number 208-969-1225
 E-Mail CJohansen@BellevueIDaho.us
 County Blaine

Sample Type	Sample Purpose
<input checked="" type="checkbox"/> Raw Water	<input checked="" type="checkbox"/> Compliance
<input type="checkbox"/> Distribution	<input type="checkbox"/> Investigative
<input type="checkbox"/> Plant Tap	<input type="checkbox"/> Other Purpose

Public Water System Jurisdiction
 A copy of the report to be sent to:

Payment due with samples, unless credit has been established

Sample Collection Location
Dispersion Box

Well Tag # ID 5070004 TM Date & Time Collected 4-22-26 1030

Sampler Name AS Grant Sampler Signature [Signature]

Receiving Check List

Received Intact No Headspace
 Labels & Chains Agree Temp: _____
 Ice/Ice-Packs Present: _____
 Custody Seals Present: _____
 Preservatives: _____

Check Desired Analyses

IOCs

Sodium Fluoride Nitrate Nitrite
 Phase II IOC Metals
 Phase V IOC Metals
 Primary IOC Package with Cn Waiver
 Secondary/Optional IOC Package
 Complete IOC Package
 Cyanide

Asbestos

VOCs & DBPs

VOC
 TTHM
 HAA5
 TOC
 Alkalinity

RADs

Gross Alpha
 Gross Beta
 RAD 226
 RAD 228
 Uranium

SOCs

Phase II SOC
 Semivolatiles
 Herbicides
 Carbamates
 Pesticides
 EDB

Phase V SOC
 Diquat
 Endothall
 Glyphosate

Dioxin

Other (specify):

PFAS
 EPA 533
 EPA 537.1

Customer Signature [Signature]
 Shipping/Delivery Date 4-27-24

Received By [Signature]
 Date Received 4/29/26 0949

Samples submitted to Anatek Labs may be subcontracted to other accredited labs if necessary. This message serves as notice of this possibility. Subcontracted analyses will be clearly noted on the analytical report.

City of Bellevue⁶⁵ Drinking Water Improvements Project Anticipated Project Timelines



This timeline reflects an expedited approach to project delivery. Merrick is committed to maintaining momentum and proactively managing challenges, however it is important to remain flexible with specific dates and timeframes as they hinge on unknown approval timeframes. Obtaining Water Team approval may cause delays.

MONTH (ANTICIPATED)	KEY ACTIVITIES	NOTES
Feb 2026	<ul style="list-style-type: none"> • Hold water group meeting regarding draft PER • Provide draft PER to water group 	COMPLETED
Mar 2026	<ul style="list-style-type: none"> • Environmental Documentation Work • PER preparation/meetings/alternatives • Construction Plan Preparation 	COMPLETED
Apr 2026	<ul style="list-style-type: none"> • Facility Plan & Environmental Documentation Work • Meetings • Construction Plan preparation 	COMPLETED
May 2026	<ul style="list-style-type: none"> • Submit Facility Plan to DEQ • Facility Plan & Environmental Documentation Work • Construction Plan preparation 	COMPLETED
Jun 2026	<ul style="list-style-type: none"> • PER Prep/Meetings • Coordinate with County • Construction Plan Preparation • Environmental Documentation Work 	Exact timeframe of IDEQ approval unknown
Jul 2026	<ul style="list-style-type: none"> • Construction Plan Prep • Submit PER to DEQ and Received IDEQ PER approval • Environmental Documentation Work 	Exact timeframe of IDEQ approval unknown
Aug 2026	<ul style="list-style-type: none"> • Submit construction plans to DEQ 	Exact timeframe of IDEQ approval unknown
Sep 2026	<ul style="list-style-type: none"> • Received DEQ construction plan approval 	Exact timeframe of IDEQ approval unknown
Oct 2026	<ul style="list-style-type: none"> • Project out to bid 	Exact timeframe of IDEQ approval unknown City Council Action Item: Approve Advertising Project for Bid
Nov 2026	<ul style="list-style-type: none"> • Anticipated construction start date 	Exact timeframe of IDEQ approval unknown City Council Action Item: Approve Contractor's Notice to Proceed

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Memorandum

To: Mayor Giordani and Bellevue Common Council

From: Kristin Gearhart, Library Director

Re: Resolution 2026-18 appointing Library Board members

Date: June 8, 2026

Requested Resolution Items:

1. Kelsie Frint – extension of term as Library Board Trustee effective 06/08/2026 through December 31, 2028.
2. Kathy Poss – appointment as Library Board Trustee to fill the position previously held by Amanda Karst-Suwanrit, whose term ended in April 2026, effective 06/08/2026 through December 31, 2028.

Suggested Motion: *I move to adopt resolution No. 2026-17 confirming the appointment of Kathy Poss with an effective date of December 31, 2028 to the Library Board of Trustees and extending the term of Kelsie Frint through December 31, 2028.*

Enclosures:

1. Resolution No. 2026-18

**RESOLUTION NO. 26-1:
CITY OF BELLEVUE**

A RESOLUTION OF THE CITY OF BELLEVUE, IDAHO, CONFIRMING THE APPOINTMENT OF KATHY POSS WITH AN EXPIRATION DATE OF DECEMBER 31, 2028 TO THE LIBRARY BOARD OF TRUSTEES AND EXTENDING THE TERM OF KELSIE FRINT THROUGH DECEMBER 31, 2028.

WHEREAS, a vacancy has occurred on the City of Bellevue Library Board of Trustees due to the departure of Amanda Karst-Swanrit; and

WHEREAS, Kelsie Frint’s term is expiring on June 11, and an extension of term is necessary to fill the position; and

WHEREAS, it is in the best interest of the City of Bellevue to appoint qualified individuals to fill vacant positions; and

WHEREAS, it is the recommendation of the Library Director, to appoint Kathy Poss to serve on the Library Board of Trustees, and extend the term for Kelsie Frint, subject to confirmation by the Common Council; and

WHEREAS, the term of these appointments shall expire on December 31, 2028.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Common Council of the City of Bellevue, Idaho, as follows:

Section 1. The appointment of Kathy Poss to the City of Bellevue Library Board of Trustees is hereby confirmed with a term expiration of December 31, 2028.

Section 2. Kelsie Frint shall serve an extended term with a new term expiration of December 31, 2028.

Section 3. This Resolution shall take effect and be in full force upon its passage and approval.

PASSED by the Common Council of the City of Bellevue, Idaho, and APPROVED by the Mayor this 26th day of May 2026.

Christina Giordani, Mayor

ATTEST:

Amy Phelps, Clerk



Memorandum

To: Bellevue Common Council

From: Amy Phelps, Clerk

Re: Resolution No. 26-19 – Mountain Rides Transportation Authority FY27
Funding Request

Date: June 8, 2026

Resolution No. 26-19 authorizes the Mayor to accept the FY27 funding request from Mountain Rides Transportation Authority in an amount not to exceed \$15,000 for continued public transportation services.

The City has historically partnered with and provided annual funding support to Mountain Rides Transportation Authority for transit services benefiting Bellevue residents, businesses, workers, and visitors. Mountain Rides continues to provide fixed-route bus service, regional transportation connections, and other transit-related services throughout the Wood River Valley.

Suggested motion:

Move to approve Resolution No. 26-19, accepting the FY27 funding request from Mountain Rides Transportation Authority in an amount not to exceed \$15,000 for continued public transportation services.

Enclosures:

1. Resolution No. 26-19
2. MRTA Funding Request

**CITY OF BELLEVUE, IDAHO
RESOLUTION NO. 26-19**

**A RESOLUTION OF THE CITY OF BELLEVUE, IDAHO, AUTHORIZING THE MAYOR
TO ACCEPT THE FUNDING REQUEST FOR MOUNTAIN RIDES TRANSPORTATION
AUTHORITY SERVICES FOR PUBLIC TRANSIT SYSTEMS SERVICES FOR FY27 IN AN
AMOUNT NOT TO EXCEED \$15,000.00**

WHEREAS, the City of Bellevue, Idaho (“City”), is a duly organized municipal corporation under the law of the State of Idaho, pursuant to § 50-101; and

WHEREAS, in previous years the City previously entered into a Contract for Services (“Contract”) with Mountain Rides Transportation Authority for public transportation systems services; and

WHEREAS, the City continues to need the services from the organization for public transportation systems services; and

WHEREAS, the City Council desires to renew the Contract with Mountain Rides Transportation Authority.

NOW THEREFORE, BE IT RESOLVED by the Common Council of the City of Bellevue, Idaho, as follows:

Section 1. Accepts the funding request for FY27 for Services between Mountain Rides Transportation Authority and the City of Bellevue, Idaho, for public transportation systems services in substantially the form presented at the June 8, 2026 regular Council meeting attached hereto as **Exhibit “A”**.

PASSED AND ADOPTED by the Bellevue Common Council and signed by the Mayor on this 8th day of June 2026.

Christina Giordani, Mayor

ATTEST:

Amy Phelps, City Clerk

**City of Bellevue
FY27 Funding Request
June 2026**

Executive Summary

Agency: Mountain Rides Transportation Authority (“Mountain Rides” or “MRTA”)

Program: Public Transportation

Contact: Wally Morgus
Executive Director
wally@mountainrides.org
208.788.7433 x.101

Mountain Rides requests FY27 funding from the City of Bellevue (“City”) in the amount of \$15,000.

Community Investment: FY27 Funding Request – \$15,000

Mountain Rides requests **community investment – funding – from the City of \$15,000** for FY27 for ongoing public transportation services benefiting the City, its residents, businesses, workers, and visitors.

For FY27, Mountain Rides anticipates allocating the City’s funding as follows:

- ★ \$ 14,000 for Operations
 - ★ MRTA’s total FY27 operating budget (preliminary) = \$5.0M.
- ★ \$ 1,000 for Capital Expenditures
 - ★ 2 Heavy-duty Battery Electric Buses (HDBEBs) & 2 Light-duty Battery Electric Buses (LDBEBs).

Community Engagement

Essential Service; Vital Thread

Mountain Rides is a vital thread in the fabric of the community, as it:

- ★ Operates fixed-route bus service moving 550,000+ riders annually into, around, and about the City;
 - ★ Operates regional vanpool services providing safe, reliable, and affordable transportation for workers moving to and from workplaces in and around the City;
 - ★ Operates on-demand Community Health Transportation (“CHT”) service between the Wood River Valley and Twin Falls; and
 - ★ Builds out a zero-emissions, electric bus fleet that is good for the environment, aligns with the ethos of the community, and promotes a healthy, sustainable lifestyle.
-

Community Engagement (cont.)

Operations

In FY27, Mountain Rides will maintain service similar to FY26 levels, which, in addition to our routes and service in the Wood River Valley, will include continuing regular on-demand van service – Community Health Transportation (CHT) – between the Wood River Valley and Twin Falls, as well as our SUN Shuttle between Sun Valley, Ketchum, Hailey, and Friedman Memorial Airport (SUN)>.

Capital Expenditures

On the Capital side in FY27, Mountain Rides will continue its drive towards a 100% zero-emissions fleet, anticipating acquiring two (2) heavy-duty battery electric buses (HDBEBs) and two (2) light-duty battery electric buses (LDBEBs). With the recent completion of its new battery electric bus facility in Bellevue, plus the battery electric bus infrastructure previously added to our Ketchum facility, Mountain Rides has in place the charging infrastructure to support an expanding fleet, and, therefore, will not require capital in FY27 for additional charging infrastructure. About 85% of the total cost of the BEBs will be underwritten by Federal grant awards. The Hailey Route is now and will continue to be served by a HDBEB.

Challenges & Growth

Mountain Rides anticipates spending FY27 continuing to re-build ridership, which has dipped from a post-pandemic high of about 700,000 to about 550,000 fixed-route bus riders per year. We also anticipate continued growth in ridership with our ADA Paratransit Service and our on-demand CHT Service.

Faced with a \$325,000 cut in Federal funding for FY27, Mountain Rides will continue to fine-tune and improve services.

Competence & Commitment

Key staff managing and carrying out activities at Mountain Rides includes:

- ★ 35 part-time and full-time Drivers;
- ★ 6 maintenance and facilities Technicians.
- ★ Jamie Canfield, Director of Community Transportation;
- ★ Carlos Tellez, Director of Fleet, Facilities & Maintenance;
- ★ Elisabeth Ruiz Loera, Manager of Finance & Administration;
- ★ Andrea Hernandez, Manager of Marketing & Communications;
- ★ Murray Walsh, Fleet Maintenance Manager;
- ★ Eric Humbach, Facilities Manager; and
- ★ Wally Morgus, Executive Director.

Community Impact

Mountain Rides:

- ★ Responds to the needs of the City, as evidenced by its support of and participation in City-sponsored activities, events, and planning.
- ★ Continues to maintain healthy ridership levels. Through the second quarter of FY26, ridership was ~310,000, down from the same period in FY26, due partially to the absence of a major event (World Cup) as well as a below average ski season economy in FY26.
- ★ Delivers enhanced mobility options for residents, visitors, businesses, and workers.
- ★ Operates 16,000+ hours of service annually on routes serving the City.
- ★ Delivers quality transportation services and infrastructure that underpin economic growth, vitality, and livability.
- ★ Provides essential transportation services for transit-dependent essential workers.
- ★ Contributes to the health and vitality of the local economy, with ~45 employees earning – and spending – ~\$3.0MM in annual wages and benefits.
- ★ Operates within funding constraints as measured by its annual performance of actuals to budget.

*For a summary presentation of MRTA's FY27 Funding Request, please see **Attachment A**.*

Attachment A-1

MRTA FY27 Funding Request Summary




FY27 Funding Request: City of Bellevue
Respectfully: \$ 15,000



June 2026

...it's the journey that matters



Mountain Rides Transportation Authority
Crucial Infrastructure; Vital Service; Key Cog in the Economy

➤ **Mountain Rides:**

- ★ *Provides mobility and access to employment, community resources, medical care, and recreation*
- ★ *Benefits those who choose to ride and those who are transit dependent, relying on public transportation for mobility*
- ★ *Supports community efforts to expand business opportunities, mitigate the impacts of workforce housing shortages, and foster a sense of community – buttressing economic vitality & resilience*
- ★ *Reduces road congestion & travel times, air pollution, and energy consumption – benefiting riders and the community-at-large*
- ★ *Stands ready, in times of emergency, as a critical transportation alternative for safe and efficient evacuation*

FY27 Funding Request: City of Bellevue (\$ 15,000)
2

Attachment A-2 MRTA FY27 Funding Request Summary




Community Impact

Common Mission; Shared Ethos; Essential Service

- **Infrastructure that supports & drives the local economy**
 - ★ Investing \$28.0M+ of Federal/State grant awards, FY24-FY27, in PT infrastructure
- **Good sustainable jobs – Federally-endorsed workforce program**
 - ★ Underwriting 45 local jobs with \$2.5M of FTA funding annually
- **Quality of life**
 - ★ Reducing emissions; mitigating congestion; supporting opportunity
 - ★ Providing safe, accessible, **zero-fare** public transportation
 - ★ Guaranteeing workforce mobility
 - ★ Mitigating the impacts of the workforce housing deficit
- **Integrity**
 - ★ Operating transparently within a balanced budget
 - ★ Supporting & contributing to the valley's economic vitality & growth

FY27 Funding Request: City of Bellevue (\$ 15,000)
3



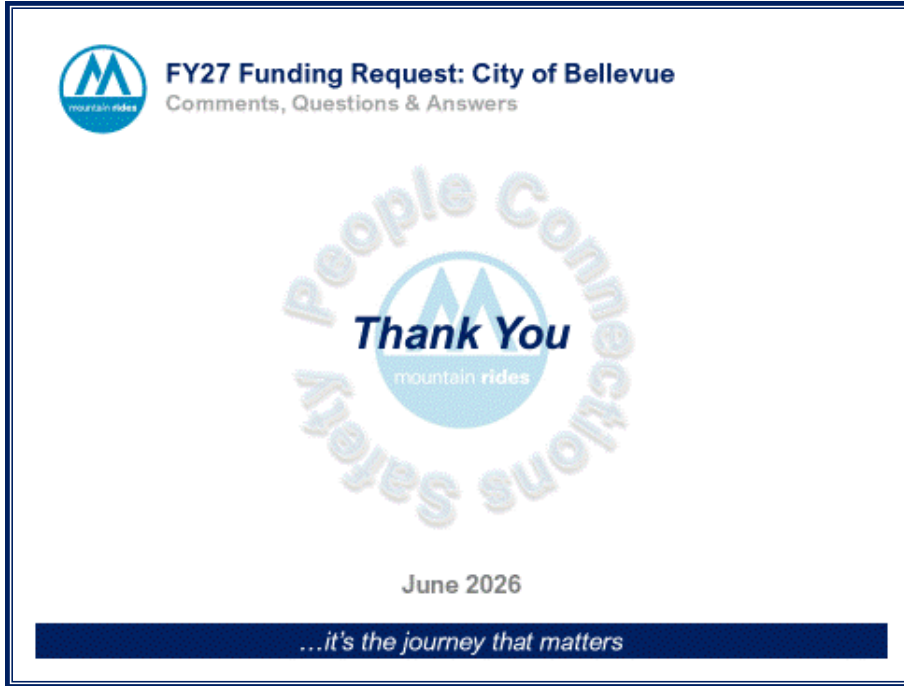
Community Investment


Vital Operations; Strategic Infrastructure; Community Asset

- **FY27 Funding Request** **\$ 15,000**
- **For Continuing Operations** **\$ 14,000**
 - ★ Operating Budget (prelim) \$ 5.0M
 - ★ 16,000+ hours of service on routes (Valley Route / CHT) serving Bellevue
 - ★ Consistent frequency during commute-hours
- **For Capital Expenditures** **\$ 1,000**
 - ★ Capital Budget (prelim) \$ 2.8M
 - ★ 2 HD BEBs + 2 LD BEBs
 - ★ Capital Sources
 - ★ FTA Grants \$ 2.4M
 - ★ MRTA Capital Fund \$ 250K
 - ★ JPs CIP Funding \$ 150K

FY27 Funding Request: City of Bellevue (\$ 15,000)
4

Attachment A-3
MRTA FY27 Funding Request Summary

A graphic with a blue border. In the top left is the Mountain Rides logo. To its right is the text 'FY27 Funding Request: City of Bellevue' and 'Comments, Questions & Answers'. In the center is a circular graphic with 'People Connections' at the top, 'Safety' at the bottom, and 'Thank You' in the middle with the Mountain Rides logo and 'mountain rides' text. Below this is 'June 2026'. At the bottom is a dark blue bar with the text '...it's the journey that matters' in white.

 **FY27 Funding Request: City of Bellevue**
Comments, Questions & Answers

People Connections
Thank You
mountain rides

Safety

June 2026

...it's the journey that matters



Memorandum

To: Common Council

From: Chris Johnson, Public Works Director

Re: iWorQs Computerized Maintenance Management System

Date: June 8, 2026

Background

The Public Works Department set funds aside for Management Software to assist with operations and management. iWorQs is a cloud-based software which among other things will allow us to track work orders, track specifics on location, work descriptions, departments, & man-hours. It is accessible on any mobile device; you can create and complete work orders in the field and upload pictures of the completed work. It will also allow us to develop and implement an asset management plan to monitor our equipment, facilities, and infrastructure expected operational lifespan. We have a quote for \$10,000 which is \$7000 annually for work management packages for the water system, the wastewater collections system and the wastewater treatment plant. With this bundle they included the streets and assets management package as well.

Enclosures

1. iWorQs Quote
2. Resolution No. 26-20

RESOLUTION NO. 2026-20

A RESOLUTION OF THE CITY OF BELLEVUE, IDAHO, AUTHORIZING THE MAYOR TO EXECUTE A SERVICE AGREEMENT WITH IWORQ FOR PUBLIC WORKS MANAGEMENT SOFTWARE SERVICES

WHEREAS, the City of Bellevue Public Works Department identified the need for management software to improve operational efficiency, work order tracking, asset management, and infrastructure planning; and

WHEREAS, the Public Works Department budgeted funds for the acquisition and implementation of such management software services; and

WHEREAS, iWorQ Systems, Inc. (“iWorQ”) provides cloud-based management software designed for municipal public works operations, including work order management, mobile field access, asset tracking, infrastructure monitoring, and related operational tools; and

WHEREAS, the proposed software package includes management systems for the water system, wastewater collection system, wastewater treatment plant, streets, and asset management; and

WHEREAS, the proposed agreement includes an initial implementation cost of approximately \$10,000 and annual software service costs of approximately \$7,000; and

WHEREAS, the Bellevue Common Council finds that entering into a service agreement with iWorQ is in the best interest of the City and will enhance operational efficiency, recordkeeping, and long-term infrastructure management.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, IDAHO:

Section 1. The Bellevue Common Council hereby approves the agreement with iWorQ Systems, Inc. for public works management software services.

Section 2. The Mayor is hereby authorized to execute all necessary agreements and documents related to the implementation of the iWorQ software services on behalf of the City.

Section 3. This Resolution shall be effective immediately upon its adoption and approval.

PASSED AND ADOPTED by the City Council of the City of Bellevue, Idaho, this 8th day of June 2026.

Christina Giordani, Mayor

ATTEST:

Amy Phelps, Clerk



Service Agreement

For iWorQ Applications and Services



Prepared for:

City of Bellevue, ID
115 E Pine Street • Bellevue, ID 83313
Population: 2575

Prepared by:

Richy Anderson
iWorQ Systems

Agreement ID: 261233



City of Bellevue, ID hereafter known as ("Customer"), enters into THIS SERVICE AGREEMENT ("Agreement") with iWorQ Systems Inc. ("iWorQ") with its principal place of business 1125 West 400 North, Suite 102, Logan, Utah 84321.

1. SOFTWARE AS A SERVICE (SaaS) TERMS OF ACCESS:

iWorQ grants Customer a non-exclusive, non-transferable limited access to use iWorQ service(s), application(s) on iWorQ's authorized website for the fee(s) and terms listed in Appendix A. This agreement will govern all iWorQ application(s) and service(s) including the application(s) and service(s) listed in Appendix A.

2. CUSTOMER RESPONSIBILITY:

Customer acknowledges that they are receiving only a limited subscription to use the application(s), service(s), and related documentation, if any, and shall obtain no titles, ownership nor any rights in or to the application(s), service(s), and related documentation, all of which title and rights shall remain with iWorQ. Customer shall not permit any user to reproduce, copy, or reverse engineer any of the application(s), service(s) and related documentation. iWorQ is not responsible for the content entered into iWorQ's database or uploaded as a document or image.

3. TRAINING AND IMPLEMENTATION:

Customer agrees to provide the time, resources, and personnel to implement iWorQ's service(s) and application(s). iWorQ will assign a senior account manager and an account management team to implement service(s) and application(s). Typical implementation will take less than 60 days. iWorQ account managers will call twice per week, provide remote training once per week, and send weekly summary emails to the customer implementation team. iWorQ can provide project management and implementation documents upon request.

iWorQ will do ONE import of the Customer's data. This import consists of importing data, sent by the Customer, in an electronic relational database format. Acquisition of data is the responsibility of the client; iWorQ will not be involved in negotiation for data with third parties.

Customer must have clear ownership of all forms, letters, inspections, checklists, and data sent to iWorQ.

4. CUSTOMER DATA:

Customer data will be stored in AWS GovCloud. iWorQ will use commercially reasonable efforts to backup, store and manage customer data. iWorQ does backups twice per week and onsite backups twice per week. Customer can run reports and export data from iWorQ application(s) at any time.

Customer can pay iWorQ for additional data management services(s), onsite backups application(s) and other service(s).



Data upload and usage is provided to every customer. This includes uploading files up to 25MB and 100GB of managed data usage on AWS GovCloud. Additional upload file sizes and managed data usage sizes can be provided based on the application(s) and service(s) listed in Appendix A.

Customers can upload and store images with personal information like driver's license, and more. This data can be used by the customer to complete the permitting, licensing, or code enforcement processes. Customer understands that the data must be uploaded and stored in the sensitive data upload section of the iWorQ software for access and security purposes.

iWorQ is not responsible for: (1) For the content entered into iWorQ's database, (2) For images or documents scanned locally and uploaded by the iWorQ users, (3) For documents or images uploaded by citizen over the web, and (4) For data sent to the Customer by iWorQ.

5. CUSTOMER SUPPORT:

Customer support and training are FREE and available Monday-Friday, from 6:00 A.M. to 5:00 P.M. MST, for any authorized user with a login. iWorQ provides unlimited remote Customer training (through webinars), phone support, help files, and documentation. Basic support requests are typically handled the same day. iWorQ provides "Service NOT Software".

6. BILLING:

iWorQ will invoice Customer on an annual basis. iWorQ will send invoices by mail and by email to the address(s) listed in Appendix A. Terms of the invoice are net 30 days from the date of the invoice. Any billing changes will require that a new Service(s) Agreement be signed by the Customer.

Any additional costs imposed by the Customer including business licenses, fees, or taxes will be added to the Customer's invoice yearly. Support and services fees may increase in subsequent years but will increase no more than 5% per year.

Customer pricing is based on a 3 Year Term and reflects a discounted annual price. Changes to the Term or the Termination Policy (Section 7. Termination:), will affect the annual pricing and could double your annual cost. Customer reserves the right to pay the 3 Year Term upfront to secure discounted annual pricing

7. TERMINATION:

Either party may terminate this agreement after the initial 3-Year Term, without cause if the terminating party gives the other party sixty (60) days written notice. Should the Customer terminate any part of the application(s) and or service(s) the remaining balance will immediately become due. Should the Customer terminate any part of the application(s) and or service(s) a new Service(s) Agreement will need to be signed. Upon expiration of the Initial Term, this Agreement shall automatically be renewed for successive one (1) year terms unless either party provides notice of termination or non-renewal no less than sixty (60) days prior to expiration of the then-current term.



Upon termination of this Agreement, iWorQ will discontinue all application(s) and or service(s); iWorQ will provide customer with an electronic copy of all of Customer's data, if requested by the Customer (within 3-5 business days).

During the term of the Agreement, the Customer may request a copy of all of Customer's data, which shall be provided to Customer for a cost of no more than \$2500 per copy. Please note, if the Customer is not in compliance with the material terms and conditions of this Agreement, iWorQ will not be required to provide Customer with the data.

8. ACCEPTABLE USE:

Customer represents and warrants that the application(s) and service(s) will only be used for lawful purposes, in a manner allowed by law, and in accordance with reasonable operating rules, and policies, terms and procedures. iWorQ may restrict access to users upon misuse of application(s) and service(s).

9. MISCELLANEOUS PROVISIONS:

This Agreement will be governed by and construed in accordance with the laws of the State of Utah. Customer recognizes that iWorQ Systems is a software company located in Utah. Any changes to this section, including changes to the Venue or Forum, will be subject to an increase in their annual pricing.

10. CUSTOMER IMPLEMENTATION INFORMATION:

Primary Implementation Contact:

Name: _____ Title: _____

Office Phone: _____ Cell (required): _____

Email: _____

Secondary Implementation Contact:

Name: _____ Title: _____

Office Phone: _____ Cell (required): _____

Email: _____



11. CUSTOMER BILLING INFORMATION:

Billing Contact: _____ **Title:** _____

Billing Address: _____

Office Phone: _____ **Cell:** _____

Email: _____

PO #: _____ **Tax Exempt ID # (required):** _____

Note: If a tax-exempt number is not provided, a 10% service increase will be added to the yearly invoice.

12. ACCEPTANCE:

The effective date of this Agreement is listed below. Authorized representatives of Customer and iWorQ have read the agreement and agree and accept all the terms.

Signature: _____ **Effective Date:** _____

Printed Name: _____ **Title:** _____

Office Phone: _____ **Cell:** _____

Unless otherwise stated, Service Period starts the first day of the month after signature and Effective Date.

APPENDIX A
APPLICATIONS, SERVICES AND PRICING SCHEDULE

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Standard Billing Terms

Recurring Fees:

Standard Invoice Date	Amount	Invoice Purpose	First Year Service Period
30 Days Prior to the Period Start	\$7,000.00	Annual Invoice	06-01-2026 - 05-31-2027

Setup Fees

Standard Invoice Date	Amount	Invoice Purpose	First Year Service Period
30 Days Prior to the Period Start	\$3,000.00	Agreement Setup Amount	60 Days after Kickoff

Annual Subscription Fees

Application ID	Classification	Application Name	Standard Pricing	Agreement Pricing
100	Package	Work Management	\$6,000.00	\$5,000.00
1300	Package	Pavement Management	\$1,000.00	\$0.00
1400	Package	Sign Management	\$1,000.00	\$0.00
300	Package	Water Management	\$1,000.00	\$0.00
300	Package	Sewer Management	\$1,000.00	\$0.00
300		Wastewater Treatment Plant	\$2,000.00	\$2,000.00
100	Package	Work Management	\$1,000.00	\$0.00
700	Package	Facility Request	\$500.00	\$0.00

Subscription Fee Total (This amount will be invoiced each year) \$7,000.00

One-Time Setup

Service(s)	Standard Pricing	Agreement Pricing
Implementation and Setup Cost (Year 1)	\$4,600.00	\$3,000.00

Recurring Agreement Pricing	\$7,000.00
Agreement Setup	\$3,000.00
Total Due Year 1	\$10,000.00

NOTES AND SERVICE DESCRIPTION

- I. Invoice for the (Annual Subscription Fee Total + One-Time Total) will be sent out immediately upon execution of the contract. Payment terms are net 30 days from the invoice date.
- II. This Subscription Fee and Agreement have been provided at the Customer's request and is valid for 25 days.
- III. This cost proposal cannot be disclosed or used to compete with other companies.



APPENDIX B PRODUCT DESCRIPTIONS

Package(s) Purchased

Public Works
Public Works Infrastructure, Facilities Management

Product Descriptions

Application / Feature	PW Basic	PW Asset (Sewer)	PW Asset (Water)	PW Infrastructure
Work Management	x	x	x	x
Sign Management	x	x	x	x
Pavement Management	x	x	x	x
Available on Multiple Device Types	x	x	x	x
OpenStreetMap w/ Quarterly Updates	x	x	x	x
Configurable Dashboard, Fields, & Reports	x	x	x	x
File Usage Allowance*	x	x	x	x
Sensitive File Uploads	x	x	x	x
Track Completed Work & Maintenance History	x	x	x	x
Sign Layer on OpenStreetMap	x	x	x	x
Road Layer on OpenStreetMap	x	x	x	x
Track Sign Location, MUTCD, Condition, Reflectivity, etc.	x	x	x	x
Track Labor, Inventory, Parts & History	x	x	x	x
Remaining Service Life (RSL), Next Treatment, 5 year budget	x	x	x	x
Track & Manage work by location using OpenStreetMap	x	x	x	x
Water Management			x	x



Application / Feature	PW Basic	PW Asset (Sewer)	PW Asset (Water)	PW Infrastructure
Sewer Management		x		x
Capital Asset Layers*		x	x	x
Work Order Scheduling & Templates		x	x	x
Set Maintenance, Inspection, & Work Schedules		x	x	x
Work Order Status Updates via Text				x
GIS REST Services (ESRI)**				x
Inspection Routing				x
Scheduled Reports*				x
XworQ AI Features				x

* Available for Expansion Purchase

**GIS REST Services Requirements:

iWorQ will be able to publish your agency's ESRI REST Services **monthly** if the following conditions are met:

1. The Rest Service URL is either a public access URL or the agency will allow iWorQ to be added to the user group of that data.
 - 1.1. User Group must have permission settings set to allow root access to pull the data.
2. The Rest Service data contains the information needed for system functionality and field types match.
 - 2.1. The format of that data must conform to iWorQ Systems

Application / Feature	Asset Management	Facility Management Pkg.
Asset & Facility Management	x	x
Work Management		x
Internal Facilities Request		x
Available on Multiple Device Types	x	x
Capital Asset Layers*	x	x
OpenStreetMap w/ Quarterly Updates	x	x
Track & Manage work by location using OpenStreetMap	x	x
Configurable Dashboard, Fields, & Reports	x	x
Work & Maintenance History Tracking	x	x
Labor, Inventory, Parts & History Tracking	x	x
File Usage Allowance*	x	x
Sensitive File Uploads	x	x



Application / Feature	Asset Management	Facility Management Pkg.
Work Order Scheduling & Templates		x
Maintenance, Inspection, & Work Schedules		x
Create Work Orders from Work Requests		x
Online Employee Portal		x
Online Forms for Employees*		x

* Available for Expansion Purchase

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Memorandum

To: Bellevue Common Council

From: Christina Giordani, Mayor
Amy Phelps, Clerk

Re: Acknowledgement and Acceptance of the Resignation of Council Member Jessica Obenauf

Date: June 8, 2026

Council Member Jessica Obenauf has submitted her resignation from the Bellevue Common Council. The June 8, 2026 meeting will be the final council meeting she attends in her official capacity as a member of the Council.

On behalf of the City of Bellevue, we would like to express our sincere appreciation to Jessica for her years of dedication and service to the residents of Bellevue. Her time, commitment, and contributions to the community have been greatly valued and appreciated.

We thank Jessica for her service to the City and wish her the very best in her future endeavors.

Suggested Motion:

I move to acknowledge and accept the resignation of Council Member Jessica Obenauf from the Bellevue Common Council, effective June 9, 2026.

Enclosures:

1. Resolution No. 26-21
2. Council Member Obenauf's resignation Letter

RESOLUTION NO. 26-21

A RESOLUTION OF THE CITY OF BELLEVUE, IDAHO, ACKNOWLEDGING AND ACCEPTING THE RESIGNATION OF COUNCIL MEMBER JESSICA OBENAUFG AND DECLARING A VACANCY ON THE BELLEVUE COMMON COUNCIL.

WHEREAS, the City of Bellevue has received written notice of resignation from Council Member Jessica Obenauf; and

WHEREAS, the resignation is effective June 9, 2026; and

WHEREAS, the Bellevue Common Council desires to formally acknowledge the service of Council Member Obenauf and recognize the resulting vacancy on the Council.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE BELLEVUE COMMON COUNCIL, BELLEVUE, IDAHO, AS FOLLOWS:

SECTION 1. The Bellevue Common Council hereby acknowledges and accepts the resignation of Council Member Jessica Obenauf effective June 9, 2026.

SECTION 2. The Bellevue Common Council hereby declares the council seat formerly held by Council Member Jessica Obenauf to be vacant effective June 9, 2026.

SECTION 3. The City Clerk is directed to take all necessary administrative actions associated with this vacancy and to proceed in accordance with applicable Idaho law and City policy regarding the filling of council vacancies.

SECTION 4. The Mayor and Bellevue Common Council express their appreciation to Jessica Obenauf for her service and dedication to the citizens of Bellevue.

PASSED BY THE BELLEVUE COMMON COUNCIL AND APPROVED BY THE MAYOR THIS 8TH DAY OF JUNE 2026.

Christina Giordani, Mayor

ATTEST:

Amy Phelps, Clerk

June 2nd, 2026

Mayor and Members of the City Council

City of Bellevue

115 E. Pine Street

Bellevue, ID 83313

Dear Mayor Giordani and Fellow Council Members,

It is with a heavy heart that I write to inform you of my resignation from the Bellevue City Council, effective at the conclusion of the June 8th, 2026, meeting. This decision has been incredibly difficult, but unforeseen personal and economic circumstances have left my family with no other choice. Following my husband's layoff in March, and given the challenging state of our current economy, he has been unable to secure local employment. As we all know, it is nearly impossible to sustain a household in our valley on a single income, which is forcing us to make this transition.

It has been the absolute honor to serve our community, to work alongside this dedicated council, and to be trusted by the residents of Bellevue to do what is right for our city. Over the last two and a half years, during which I have sat in this seat, I have poured my heart into bridging gaps within our community, bringing diverse groups of people together, and amplifying critical grassroots efforts and partnerships in Blaine County.

Thank you from the bottom of my heart for giving me the opportunity to serve all of you and the wonderful people of Bellevue. Though I must step down from this official role, my love for this city and my gratitude for the relationships built here will remain. I wish the council and the City of Bellevue continued success in all future endeavors.

Sincerely,



Jessica Obenauf

Council Member, City of Bellevue

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Memorandum

To: Bellevue Common Council

From: Brian Parker, Community Development Director

Re: Appeal of DR-26-01 – Malone Shipping Containers, 811 North Main Street

Date: June 8, 2026

Background

At their April 20, 2026 meeting, the Bellevue Planning & Zoning Commission (Commission) adopted Findings of Fact, Conclusions of Law, and Decision (Findings) documents denying the subject application. The reasoning for denial is described in the Findings. On May 4, 2026, the applicant submitted an appeal of the denial, in accordance with Bellevue City Code Section 10-3-3(B)(1).

Notice

The appeal was published in the *Idaho Mountain Express* on May 20, 2026, the site was posted on May 20, 2026, and notice was mailed to property owners within three-hundred feet (300') on May 20, 2026.

Procedure

Bellevue City Code Section 10-3-3(B) provides the following process for appeals of Commission decisions:

1. **Notice Of Appeal; Estimated Costs:** Any person aggrieved by any final action of the commission may appeal the commission's decision to the Council by filing a notice of appeal within fifteen (15) days from the date of the decision. The notice of appeal shall state the date and substance of the decision appealed from and state the grounds for the appeal. Copies of the notice of appeal shall be filed with both the Council and the commission. The Administrator shall provide any such aggrieved person with a written statement of the estimated cost of transcript preparation.
2. **Transmission Of Record:** Within thirty (30) days after a notice of appeal is filed, the commission shall prepare three (3) copies of a summary of the proceedings from which appealed and forward said summary to the Council. A transcript of the proceedings may be prepared at the appellant's expense. The cost of the transcripts shall be paid in full before the transcript may be forwarded to the Council. The commission shall serve one copy of the summary or transcript on the appellant and one copy on the attorney for the respondent. The commission shall submit to the Council with the summary or transcript all documents, exhibits, and orders pertinent to the appeal.
3. **Hearing By Council:** The Council shall hold a hearing on the appeal as soon as possible following receipt of the Administrator's certificate and the commission's record. The Council shall publish a

notice specifying the time, date and place of the hearing and stating the subject of the appeal. The notice shall be published once in the official newspaper at least fifteen (15) days prior to the hearing. The Council may not take additional evidence at the hearing. The parties to the appeal may present briefs to the Council. Each party may present not more than fifteen (15) minutes of oral argument to the Council.

4. Decision By Council: The Council shall enter an order within fifteen (15) days after the hearing affirming, reversing, or modifying the commission's decision. The order shall contain a statement of the decision.

Of specific note:

Belleuve City Code Section 10-3-3(B)(3) states “the Council may not take additional evidence at the hearing.” The decision to affirm or reverse the Commission’s decision must be based on the record provided to the Commission. Alternative proposals to become compliant with standards should not be considered. If the Council would like to provide opinions on items to be included in a future application that may yield an approval, that may be appropriate, but it is important that the decision on the subject appeal be based on the application materials provided to the Commission.

The meeting recordings in which the application was discussed are available at <https://youtu.be/2tCsZMQySxg?si=uOqMKDu3ai9sqY8> (March 2, 2026 meeting) and <https://youtu.be/2tCsZMQySxg?si=uOqMKDu3ai9sqY8> (April 6, 2026 meeting). The Findings were approved on the Consent Agenda during the Commission’s April 20, 2026 meeting.

Recommendation and Next Steps

The Planning & Zoning Commission denied the subject application. It is Staff’s opinion that they did not err in their decision or reasoning.

Enclosures

1. Appeal materials
2. Planning & Zoning Commission Findings of Fact, Conclusions of Law, and Decision Documents, approved on April 20, 2026
3. Staff Report and application materials provided to the Commission at their April 6, 2026 meeting
4. Staff Report and application materials provided to the Commission at their March 2, 2026 meeting



May 4, 2026

Notice of Land Use Appeal

City of Bellevue, Idaho

Appellant: Cal Johnson, Legend Engineering

Project: Malone Ford - 811 North Main Street

Decision Being Appealed: Planning & Zoning Commission Denial of Design Review

Date of Decision: April 20, 2026

City Council,

1. Statement of Appeal

Pursuant to Bellevue City Code Section 10-3-3, the Applicant hereby appeals the decision of the Planning and Zoning Commission denying the Design Review application for the above referenced project.

2. Grounds for Appeal

The Planning and Zoning Commission's decision should be reversed because it is not supported by substantial evidence in the record and is based on a misapplication of the Design Review Standards contained in Bellevue City Code Section 10-17-5.

The decision relies on subjective conclusions, speculation, and considerations not contained within the applicable code criteria.

3. Argument

A. The Commission relied on criteria not contained in the Code

The findings include statements regarding "unsightly materials," site management practices, and suggestions that the applicant should reduce inventory or modify operations.

These considerations are not criteria contained within Bellevue City Code Section 10-17-5 and are therefore not a valid basis for denial. Design Review must be based on the adopted standards, not operational preferences or subjective opinions.



B. The findings are not supported by substantial evidence

The Commission's conclusions repeatedly rely on speculative statements, including assertions that the proposed snow storage plan would "likely" damage landscaping or fencing, and that screening would be "unlikely" to improve site aesthetics.

These statements are not supported by objective evidence in the record and do not demonstrate that the proposal fails to meet the applicable standards.

C. The Commission misapplied Site Planning standards

Section 10-17-5(A) outlines specific site planning criteria, including site lighting, parking areas, utilities and snow storage requirements.

The record does not demonstrate that the proposal fails to meet these objective criteria. The denial instead relies on generalized aesthetic concerns and operational considerations, which are not part of the Site Planning standards.

D. The Commission misapplied Architectural standards

Section 10-17-5(B) requires that building design reflect historical architectural styles and limits the use of metal siding along Main Street unless deemed appropriate by the Commission.

The Commission failed to properly exercise its discretion under this provision. The proposal includes screening elements, including fencing and landscaping, intended to substantially mitigate the visibility of the shipping containers.

The Commission did not evaluate whether these mitigation measures achieve compliance, instead treating the presence of shipping containers as a categorical violation.

E. The findings regarding landscaping and screening are unsupported

Section 10-17-5(C) requires that landscaping provide a substantial buffer and that fencing harmonize with the site.

The Applicant proposed additional landscaping, including trees and shrubs, and fencing materials consistent with the existing primary structure.

The Commission's conclusion that the proposed screening is ineffective is not supported by any objective standard or measurable requirement contained in the code.



F. The decision is arbitrary and fails to provide a path to compliance

The Applicant proposed reasonable screening and landscaping measures to address visual impacts.

The Commission denied the application without identifying specific, objective changes that would bring the project into compliance, effectively applying the standards in an arbitrary manner.

4. Request for Relief

The Applicant respectfully requests that the City Council reverse the Planning and Zoning Commission's denial, as it is not supported by substantial evidence and does not reflect a proper application of the Bellevue City Code.

Alternatively, the Applicant requests that the Council modify the decision with direction to apply the Design Review standards consistent with the Bellevue City Code.

Respectfully submitted,

A handwritten signature in black ink that reads "Cal Johnson". The signature is fluid and cursive, with a long horizontal stroke at the end.

Cal Johnson
Legend Engineering
cal@legendengineering.com
(435) 654-4828



Johnson

05/04/2026 - 05/03/2027

Land Use Appeal

Appeal Fee

Application Status

Under Review

Permit/License #

0318065

Reference Number

84e7fec0-480c-11f1-b7a1-8b4ec15a2705

Status

Active

Application Review Status

Pre-Review	Approved	Date Submitted
Community Development	Not Reviewed	05/04/2026
Final-Review	Not Reviewed	

Fees

Appeal Fee	\$750.00
Subtotal	\$750.00
Processing Fee	\$2.00
Total	\$752.00
Amount Paid	\$752.00
Total Due	\$0.00

Payments

05/04/2026	Online	\$750.00
Total Paid		\$752.00

Application Form Data

(Empty fields are not included)

Describe the decision being appealed


Planning & Zoning Commission denial of Design Review for shipping containers

Is this an appeal of a decision of the Administrator or of the Planning & Zoning Commission

Planning & Zoning Commission

Explain the reasoning why the decision should be overturned. Alternatively, you may upload a document explaining the reasoning below.

Please see attached.

 Land Use Appeal.pdf

First Name

Cal

Last Name

Johnson

Phone Number

(435) 654-4828

Email

cal@legendengineering.com

Mailing Address

52 West 100 North

Mailing City

Heber City

Mailing State

UT

Mailing Zip

84032

Site Address

811 North Main Street

Signature

I agree that the facts stated in this application are true, and upon changes I will provide notification as needed.

Electronically Signed

Cal Johnson - 05/04/2026 4:56 pm

Messages

05/12/2026 9:17 am - Brian Parker

We have received your application. It is tentatively scheduled for the June 8, 2026 Council Meeting. Please note that receipt of the appeal does not stay any of the code enforcement timelines that have been provided to you. As a reminder, the letter that was sent is attached. Please remove the shipping containers by May 30, 2026, and complete all other requested remediation by May 14, 2026 to avoid code enforcement action.

📎 2026-04-27 - 1st Letter.pdf

Comments:

05/12/2026 11:52 am - Applicant

Hi Brian,

I have passed this over to David. Thank you.

Internal Notes

05/06/2026 7:13 am - Brian Parker

@{{user||697143afbb49073fd9a62303||Rick Allington}}

CITY OF BELLEVUE
PLANNING & ZONING COMMISSION

<p>REGARDING AN APPLICATION OF: KMAM Real Estate, an application for Design Review Approval for the placement of four (4) shipping containers on an existing automobile dealership located at 811 North Main Street..</p>	<p>FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION</p>
--	--

DESCRIPTION: An application for Design Review Approval for the placement of four (4) shipping containers to be placed on the site of Karl Malone Ford and Powersports. The property is 4.97 acres and zoned B – Business.

The Bellevue Planning and Zoning Commission held a regular meeting on March 2, 2026 at which time the Commission voted to continue the subject application to a date uncertain. The application was reviewed again at the Commission’s regular meeting on April 6, 2026, at which time the Commission voted to deny the subject application.

I. GENERAL BACKGROUND

1. **Notice** of this hearing is not required pursuant to Bellevue City Code Section 10-17-4(C).
2. The Commission was asked to disclose any conflicts of interest or *ex parte* communications on the subject application. No Commissioners noted any conflicts of interest.

3. Attached to this report are the following exhibits:

Exhibit A—Application Materials

Document Name	Receipt of Last Revision
Application	February 10, 2026
Site Plan	March 12, 2026
Project Description	February 10, 2026
Exclusion Letter – Exterior Elevations	February 10, 2026
Exclusion Letter – Landscape Plan	February 10, 2026
Exclusion Letter – Lighting Plan	February 10, 2026
Exclusion Letter – Floor Plan	February 10, 2026
Photos of Proposed Fencing	March 12, 2026
Partial Landscape Plan	March 20, 2026

Exhibit B— Agency Comments

No agencies or departments provided comment prior to the meeting.

Exhibit C— Public Comments

Prior to opening the public hearing, Staff had received public comment from the following individuals or entities:

- Mindy Pereira
- Tristian Gralenski
- Carol Van Bramer

Pursuant to Bellevue City Code Section 10-17-4(C), the Commission opened the agenda item to public comment. At the March 2, 2026 meeting, the Commission received public comment from the following individuals:

- Diane Shay

During the April 6, 2026 meeting, the Commission received public comment from the following individuals:

- Bill Pereira
- Tristian Gralenski

II. APPLICABLE DESIGN REVIEW STANDARDS & CRITERIA

BELLEVUE CITY CODE SECTION 10-17-5

A. Site Planning:

1. Buildings shall be situated in a manner that preserves existing land forms, trees and other significant vegetation and shall not interrupt waterways or change other natural drainage patterns in a manner which adversely affects adjacent property. Removal of existing trees of greater than six inch (6") caliper is subject to review.
2. Buildings shall be sited so that their form does not break prominent natural ridge lines.
3. Buildings and parking areas shall be clustered to provide for more usable open space. All accesses from alleys shall require improvements installed by the applicant/owner when applicable including, but not limited to, an asphalt surface or compacted gravel surface as determined by the City Public Works Department. The applicant/owner shall be responsible for relocation of applicable City services/utilities, repair of any damaged City services, snow plowing and snow removal.
4. The alignment of roads and driveways shall follow the contours of the site, and cuts and fills shall be minimized.
5. Retaining walls shall be discouraged, and such walls over three feet (3') high shall be stepped to form a number of benches to be landscaped.
6. Exterior lighting systems shall not create glare nor cast light on neighboring properties.

Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.

7. A snow storage plan, as a component of the site plan, is required. The plan shall comply with the following requirements:
 - a. Use of sidewalks and required parking areas for snow storage is prohibited.
 - b. Snow storage within one hundred feet (100') of stream banks is prohibited.
 - c. Use of landscaped areas for snow storage may be allowed under the approved snow storage plan.
 - d. Snow storage areas shall be incorporated in site design as well as designs that anticipate snow shedding areas.
 - e. Snow storage areas shall not adversely affect neighboring properties.
 - f. Building design shall prevent water from dripping or snow from sliding on pedestrian areas, entrances of buildings, garages and adjacent properties.
 - g. Snow storage areas for parking lots containing twenty (20) spaces or more shall be located on site in an amount which is equal to at least one-third ($\frac{1}{3}$) of the hard surfaces proposed with the project. The one-third ($\frac{1}{3}$) amount may be reduced by the use of a snowmelt system, or for good cause demonstrated.
 - h. Where snow storage areas cannot be provided on site because of existing buildings or approved building design, an adequate snow hauling plan shall be submitted for and subject to approval by the Planning and Zoning Commission.

The Planning and Zoning Commission may impose such restrictions on snow removal operations as are necessary to reduce the effects of noise or traffic on surrounding areas.

8. Visual impact of on site parking, service, trash and loading areas shall be minimized whenever possible by locating these areas to the rear of the building and providing

- screening with landscaping or fences from adjacent properties and public ways.
9. Adequate enclosed on site storage for trash shall be provided for each unit of accessory dwelling units, multi-family and townhouses.
 10. All utilities shall be installed underground in accordance with the City standards and in a manner and location approved by the City Engineer.
 11. Building and parking areas shall be designed to provide proper ingress and egress; safe, adequate and efficient pedestrian and vehicular traffic circulation; and the efficient and safe arrangement of on site parking, building location, and circulation.
 12. Multi-family and townhouses shall provide a minimum of two (2) on site parking spaces for each unit. Accessory dwelling unit parking requirements shall be one off street parking space for a one bedroom ADU and two (2) parking spaces for ADUs with two (2) to three (3) bedrooms.
 13. Adequate unobstructed access for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project shall be provided.

FACTS:

The subject property is generally flat but located at the top of an embankment and has recently been developed as an automobile and powersports dealership.

The applicant has received approval to construct a fence along a portion of the property to screen the proposed location of the shipping containers.

The proposed fence is to utilize a grey corrugated metal similar to the exterior of the structure.

The applicant has provided a site plan with landscaping including trees

and shrubs intended to screen the fencing and shipping containers around the perimeter of the property.

The applicant is proposing to store snow around the perimeter of the property, including areas that may be obstructed by the fencing.

The site is zoned B – Business.

The applicant placed the shipping containers on the subject property prior to receiving Design Review approval.

Bellevue City Code Section 10-17-3(A) requires Design Review approval for the “placement of any building upon property ... within the Business Zoning District.”

Bellevue City Code Section 10-2-1 defines “Building” as “Any structure used or designed to be used for supporting or sheltering any use or occupancy per City adopted International Building Code.”

The shipping containers and the site around the shipping containers has been utilized for parking and equipment and materials storage.

The applicant has been storing materials on top of the shipping containers on the site. The applicant stated during the meeting that storage on top of the shipping containers would be likely to continue if the subject application were to be approved.

FINDINGS:

The current site management has resulted in unsightly materials, parking and storage that is not screened by landscaping or fences.

The applicant could better manage parking, materials, and equipment

storage by reducing inventory and improving operations, rather than needing additional shipping containers.

The proposed snow storage plan is likely to damage landscaping and result in ineffective screening.

The proposed snow storage plan is likely to result in damage to the fence.

Because of the likely damage to the proposed screening due to snow removal operations, the proposed screening measures are unlikely to result in an improvement to the aesthetics of the site.

Because the applicant plans to continue storing materials on top of the shipping containers, the proposed screening would not be effective.

CONCLUSION: The proposed site plan is not consistent with the requirements of this code section.

B. Architecture:

1. Generally:

- a. Building and shopfront design and construction shall reflect historical architecture styles and shall incorporate building materials, architectural design and features representative of that historical period in Bellevue between 1880 and 1910. That architectural style includes frame and brick construction, frame and shiplap siding construction, horizontal log construction, and similar westward expansion motifs. Also, building design and construction shall preserve and incorporate any such existing structures and features, signage, exterior fixtures and other items from that period.

- b. A building exceeding eight thousand five hundred (8,500) square feet of building

coverage shall incorporate a change in facade design, materials, color and/or height, or a combination thereof, that such building appears to be more than one building.

These changes shall occur at a minimum of every fifty feet (50') of wall facade visible by the general public and at the ceiling line of the first floor on two-story buildings.

In addition, the facade shall change in depth a minimum of two feet (2') at each such change in facade.

- c. All buildings in the B Business District shall have a minimum setback from wall/foundation to property line adjacent to Main Street/Highway 75 of three feet (3'), providing an area for covered seating, planters, special event advertising units and displays of merchandise, in addition to the specified requirements of subsection B1b of this section.
- d. All exterior mechanical equipment shall be screened on all sides with materials and colors matching the approved structure.
- e. Mechanical equipment and solar panels shall be hidden or de-emphasized.
- f. Metal siding shall not be permitted on buildings on parcels of real property abutting Main Street (State Highway 75) unless deemed appropriate by the Planning and Zoning Commission. All such buildings shall be constructed of or faced with materials that are similar in texture, finish, and appearance to natural materials. The use of natural materials such as wood, brick and stone shall be encouraged, and exterior wall colors shall be of natural earth tones.
- g. Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.
- h. Accessory dwelling unit sizes shall comply with section [10-2-1](#) of this title.

2. **Multi-Family And Townhouses:** Multi-family and townhouses shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and location of the site. Multi-family and townhouse design, style, scale, and aesthetics shall blend with its neighborhood. There shall be no repetitive side by side development of buildings. The City is looking for individual buildings by varying types and styles to make for a pleasant streetscape experience.
3. **Accessory Dwelling Units (ADUs):** ADUs shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and emulate the primary structure of the site. Design, style, scale, and esthetics shall blend with its neighborhood. Building materials and exterior architectural design shall be reflective of existing structures on the subject site and take into consideration the architectural style and materials of the general vicinity.

FACTS: The applicant is proposing to utilize four (4) tan shipping containers as storage structures on the property. The applicant is not proposing to paint, side, install façade, or otherwise modify the appearance of the shipping containers.

The modern shipping container was invented in 1956.

The shipping containers are constructed from corrugated metal.

The applicant is proposing to screen the shipping containers by placing the shipping containers within a fenced area constructed of corrugated metal on the south and west sides and slatted chain link fencing on the north and east sides.

The subject parcel abuts Main Street.

FINDINGS: The shipping containers are not consistent with the architecture of the historical period of Bellevue between 1880 and 1910.

The use of corrugated metal is inappropriate.

CONCLUSION: The proposed architecture is not consistent with the requirements of this code section.

C. Landscaping; Parking; Lighting:

1. Exterior light fixtures and signs shall be nonglaring in design and installation so as not to adversely affect adjacent properties and public ways.
2. The design of fences, walls and retaining walls shall harmonize with the site and buildings in scale as well as in materials.
3. Preservation of significant natural features such as water, view, topography, and vegetation shall be incorporated in the landscape plan.
4. Site conditions, drought tolerance and local hardiness shall be considered to select appropriate plant species, including grasses for lawn areas.
5. Landscaping shall provide a substantial buffer between incompatible land uses and shall be used to screen from view and to mitigate visual impact of parking areas, loading areas, and garbage containers from adjacent properties and public ways.
6. Installation of adequate drip or other low consumption irrigation systems shall be required. Landscaping shall be properly irrigated and maintained, and landscaping, or any portion thereof, shall be replaced when it dies or is otherwise destroyed.
7. Adequate drainage shall be provided on site.
8. A minimum of ten percent (10%) of the parking area of parking lots with twenty (20) spaces or more shall be landscaped with islands, dividers, or a combination of the two.

Parking lots with twenty (20) spaces or more will have a minimum of fifty percent (50%)

of the required landscaped area installed adjacent to Main Street/Highway 75 unless otherwise approved by the commission due to extensive curb cuts and vision safety concerns.

9. All public rights-of-way adjacent to subject property including alleys shall be improved with, but not limited to, asphalt/concrete/compacted gravel, and applicable curbing, gutter, drainage, ADA standards, lighting, sidewalks and striping as recommended by the Public Works Director.

FACTS: The primary structure on the subject property utilizes a mixture of wood, stone, and metal.

The applicant is proposing to screen the shipping containers by placing the shipping containers within a fenced area constructed of corrugated metal on the south and west sides and slatted chain link fencing on the north and east sides.

The subject property abuts the GR – General Residential zone.

The subject property was planted with two (2) Wichita Blue Juniper trees, seven (7) Vanderwolf Lumber Pine trees, and six (6) Mugo Pine trees along the southern property boundary.

The applicant is proposing to plant an additional three (3) Colorado Spruce trees, ten (10) Ivory Halo Dogwood shrubs, and ten (10) Bailey Red-Twig Dogwood shrubs

FINDINGS: The fencing material matches the existing primary structure.

The proposed fencing materials is not consistent with typical residential design, and is not an appropriate screening along the boundary of the B –

Business and GR – General Residential zones.

The landscaping, although proposed to be enhanced, does not effectively screen the site, particularly when viewed from the residential zoned area.

CONCLUSION: The proposed landscape plan is not consistent with the requirements of this code section.

D. Curbs, Gutters, Sidewalks And Street Tree Requirements:

Within the B Business, LB/R Limited Business/Residential, LI/B Light Industrial/Mixed Business and LI Light Industrial Zoning Districts, curbs, gutters, sidewalks and street trees are required and shall be installed along the street frontage of each lot or parcel of real property upon which a new building or a "major addition" (defined as requiring a building permit and having a cost of construction exceeding \$50,000.00) is constructed. Such improvements shall be constructed in accordance with the applicable construction standards and ordinances of the City.

FACTS: Curb, gutter, sidewalk, and street trees exist along the Main Street frontage of the subject property.

Curb, gutter, sidewalk, and street trees were not installed on the Kirtley Street frontage of the subject property.

There is a substantial slope along the Kirtley Street frontage of the subject property.

FINDINGS: The installation of curb, gutter, sidewalk, and street trees along the Kirtley Street frontage of the subject property would likely be disproportionate to the development proposed with this applicaion.

CONCLUSION: This standard is not applicable.

II. DECISION AND ORDER

► **Motion:** Upon a Motion by Commissioner Beiser and a second by Commissioner Grootveld, a unanimous vote, the Bellevue Planning and Zoning Commission hereby **denies** of the subject application submitted by KMAM Real Estate, finding the application **does not comply** with the applicable criteria set forth in Bellevue City Code.

Right to Appeal


Pursuant to Bellevue City Code Section 10-3-3(B), aggrieved persons may appeal a decision of the Commission. Procedures for appealing are as follows:

1. **Notice Of Appeal; Estimated Costs:** Any person aggrieved by any final action of the commission may appeal the commission's decision to the Council by filing a notice of appeal within fifteen (15) days from the date of the decision. The notice of appeal shall state the date and substance of the decision appealed from and state the grounds for the appeal. Copies of the notice of appeal shall be filed with both the Council and the commission. The Administrator shall provide any such aggrieved person with a written statement of the estimated cost of transcript preparation. (Ord. 2015-02, 4-20-2015; amd. 2018 Code)
2. **Transmission Of Record:** Within thirty (30) days after a notice of appeal is filed, the commission shall prepare three (3) copies of a summary of the proceedings from which appealed and forward said summary to the Council. A transcript of the proceedings may be prepared at the appellant's expense. The cost of the transcripts shall be paid in full before the transcript may be forwarded to the Council. The commission shall serve one copy of the summary or transcript on the appellant and one copy on the attorney for the respondent. The commission shall submit to the Council with the summary or transcript all documents, exhibits, and orders pertinent to the appeal.
3. **Hearing By Council:** The Council shall hold a hearing on the appeal as soon as possible

following receipt of the Administrator's certificate and the commission's record. The Council shall publish a notice specifying the time, date and place of the hearing and stating the subject of the appeal. The notice shall be published once in the official newspaper at least fifteen (15) days prior to the hearing. The Council may not take additional evidence at the hearing. The parties to the appeal may present briefs to the Council. Each party may present not more than fifteen (15) minutes of oral argument to the Council.

4. Decision By Council: The Council shall enter an order within fifteen (15) days after the hearing affirming, reversing, or modifying the commission's decision. The order shall contain a statement of the decision.

IT IS SO ORDERED this 20th day of April, 2025



John Kurtz
Chair



Brian Parker
Community Development Director



Memorandum

To: Bellevue Planning & Zoning Commission

From: Brian Parker, Community Development Director

Re: DR-26-01 – Malone Shipping Containers

Date: April 6, 2026

Background

At the March 2, 2026 Planning & Zoning Commission Meeting, the Commission reviewed the subject application for the placement of four (4) shipping containers at the Karl Malone Ford & Powersports dealership at 811 North Main Street. The Commission continued the matter to a date uncertain with the following requested additional documentation:

- An updated landscape plan with additional screening for the eight foot (8') metal fence and remediation for the existing unpermitted access point onto Kirtley Street.
- An updated site plan with the shipping containers relocated to not interfere with parking or fire hydrant access.
- Renderings/elevations from the streets near adjacent residential buildings
- Current approved site and landscape plans

The applicant has provided the following information:

- An updated landscape plan for the portion of the proposed fenced area facing south.
- An updated site plan with all four (4) shipping containers located within the proposed fenced area.
- Photos of proposed fencing materials

The most recent approved site and landscape plan is also attached.

Recommendation and Next Steps

Based upon the record provided to date, Staff defers to the Commission regarding the approval of the subject application. Should the Commission vote to approve the subject application, Staff recommends the following conditions of approval:

1. All shipping containers located on the subject property larger than two hundred (200) square feet require a building permit and compliance with applicable building code requirements.

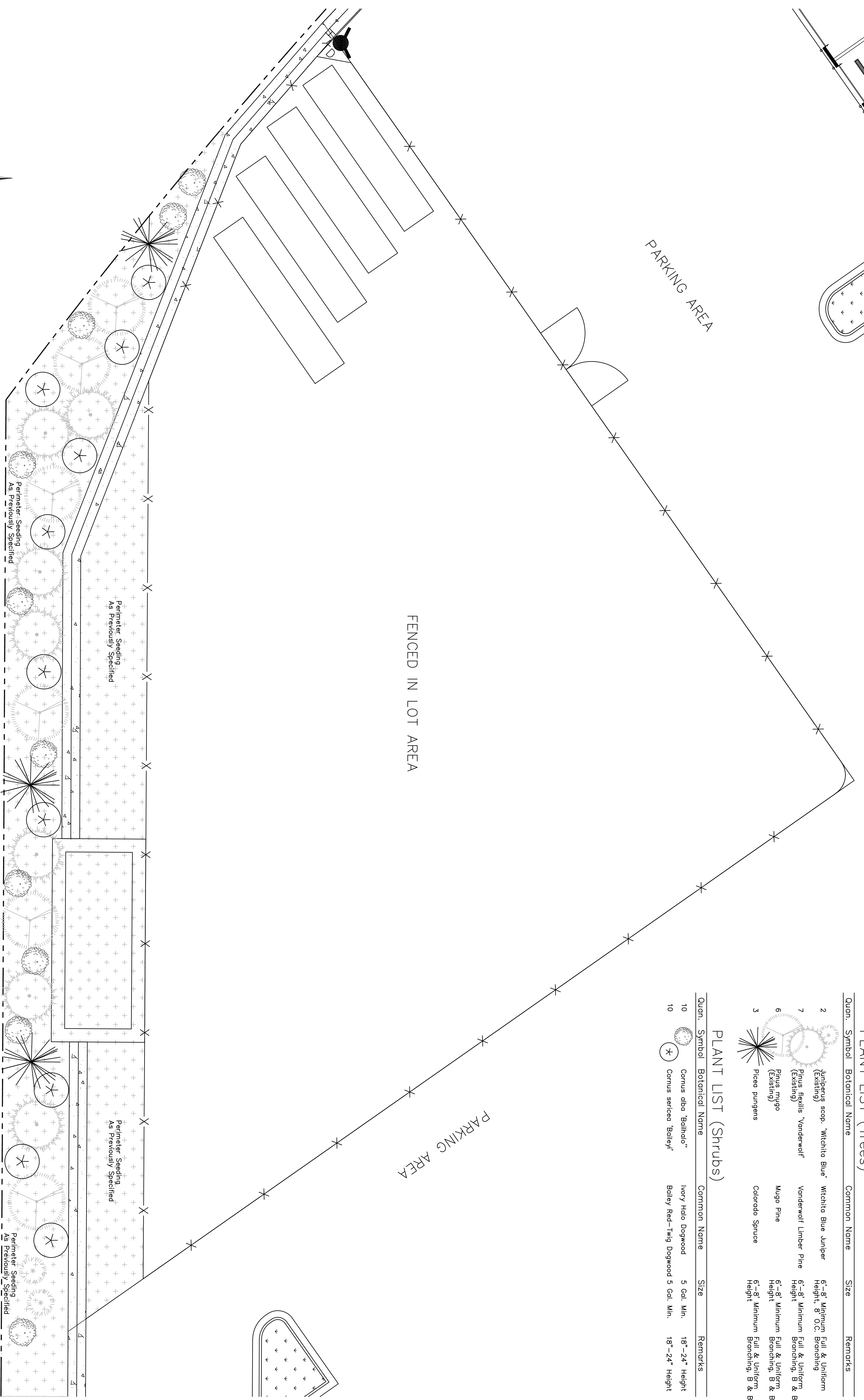
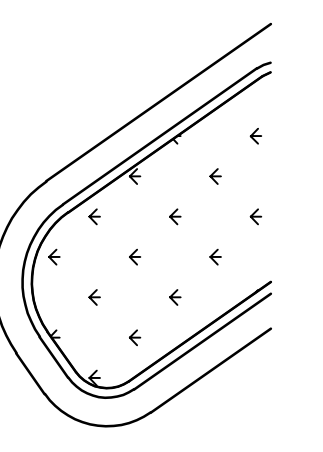
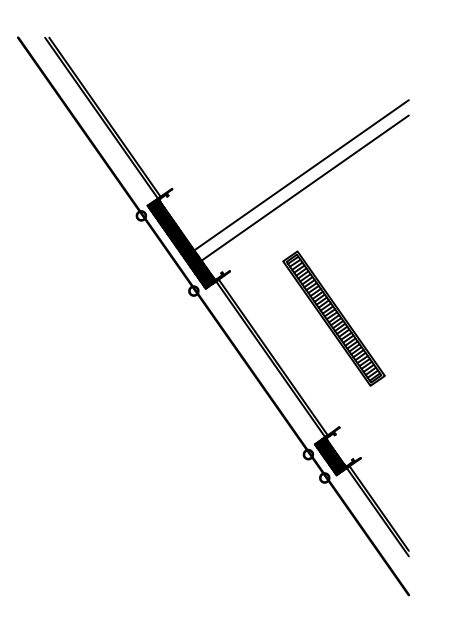
Building permits shall be applied for within one (1) month of the approval of this application, or the shipping containers removed.

2. Prior to the issuance of a building permit for any shipping container, the applicant shall provide a revised landscape plan showing a minimum of two (2) additional trees to be planted in the existing unpermitted access onto Kirtley Street.
3. Prior to the issuance of a temporary or final certificate of occupancy for the shipping containers, all fencing and additional landscaping shown on the site plan shall be installed.
4. All fencing, landscaping, and improvements shall be maintained in a state of good condition in accordance with Bellevue City Code Section 10-17-8.

All conditions of approval associated with prior entitlements remain in effect.

Enclosures

1. Updated Landscape Plan
2. Updated Site Plan
3. Photo of proposed eight foot (8') fence material
4. Photo of proposed six foot (6') fence material
5. Approved fence plan
6. Approved landscape plan submitted with BP-24-048
7. Materials from March 2, 2026 meeting packet



PLANT LIST (Trees)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
2		<i>Juniperus scop. 'Witchita Blue'</i>	Witchita Blue Juniper	6'-8' Minimum Full & Uniform Height, 9" O.C. Branching	
7		<i>Pinus flexilis 'Vanderwolf'</i>	Vanderwolf Limber Pine	6'-8' Minimum Full & Uniform Branching, B & B Height	
6		<i>Pinus mugo</i>	Mugo Pine	6'-8' Minimum Full & Uniform Branching, B & B Height	
3		<i>Picea pungens</i>	Colorado Spruce	6'-8' Minimum Full & Uniform Branching, B & B Height	

PLANT LIST (Shrubs)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
10		<i>Cornus alba 'Boehlo'</i>	Ivory Halo Dogwood	5 Gal. Min. 18"-24" Height	
10		<i>Cornus sericea 'Bailey'</i>	Bailey Red-Twig Dogwood	5 Gal. Min. 18"-24" Height	

KIRTLEY ST.

PARKING AREA

FENCED IN LOT AREA

**KARL MALONE FORD + POWERSPORTS STORE
LANDSCAPE PLAN**
11348 STATE HIGHWAY 75, BELLEVUE, ID 83313

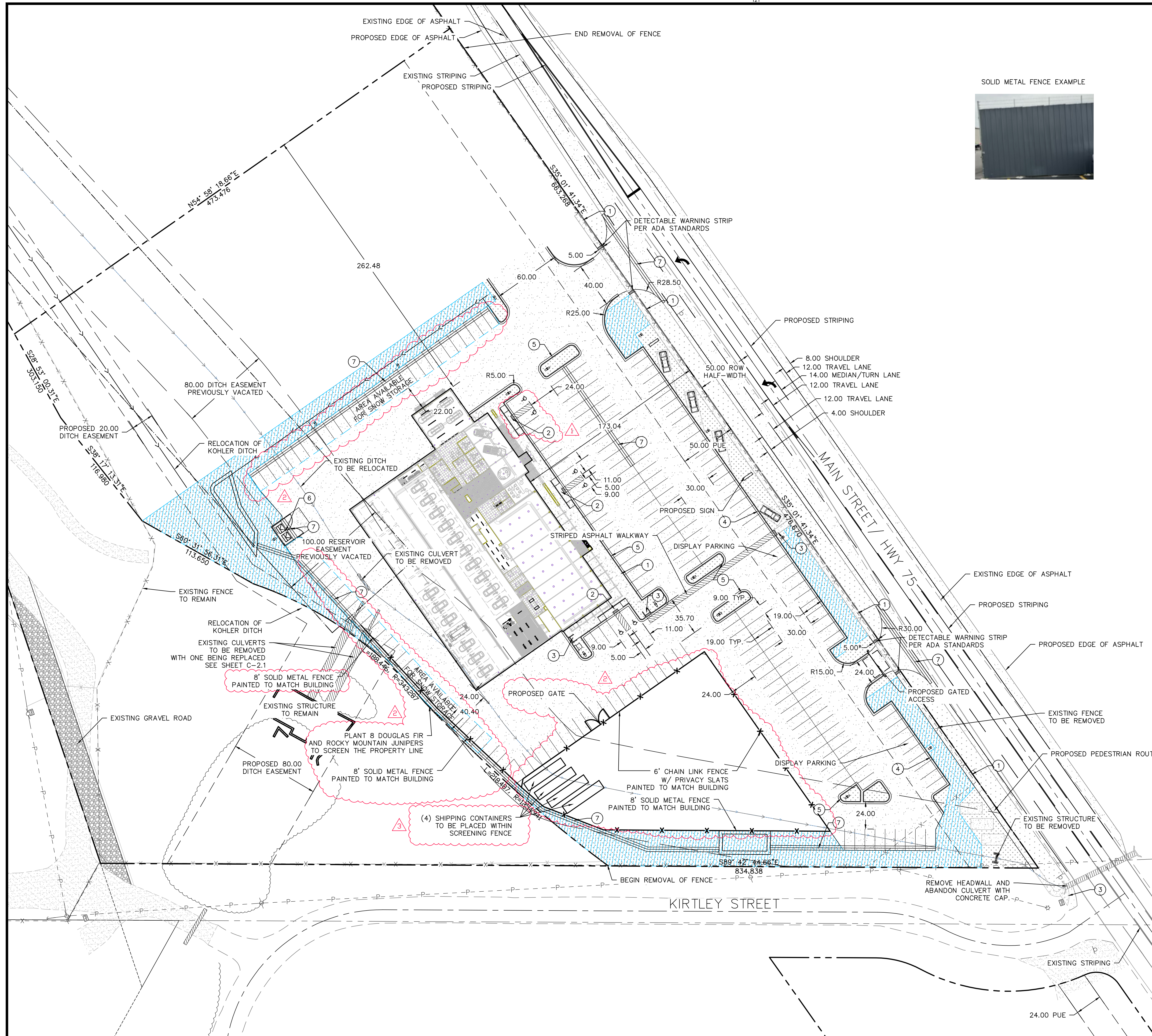


LEGEND ENGINEERING
52 WEST 100 NORTH
HEBER CITY, UT 84032
PHONE: 435-654-4828
www.legendengineering.com

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LR DESIGNER: CJ

SHEET: **L-1**
DATE: 3/20/2026



LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	====
PROPOSED CURB AND GUTTER	====
SETBACK LINE	----
EXISTING FENCE	-X-X-
LANDSCAPE AREA	[Stippled pattern]
CONCRETE AREA	[Solid grey pattern]
PROPOSED ASPHALT AREA	[Striped pattern]
SNOW STORAGE AREA	[Blue hatched pattern]

SITE DATA

LOT AREA:	317,109 SF (7.28 ACRES)
DEVELOPED AREA:	220,939 SF (5.07 ACRES)
BUILDING AREA:	30,875 SF± 14.0%
PAVEMENT AREA:	123,504 SF± 55.9%
LANDSCAPE AREA:	38,530 SF± 17.4%
FUTURE EXPANSION AREA:	28,030 SF± 12.7%

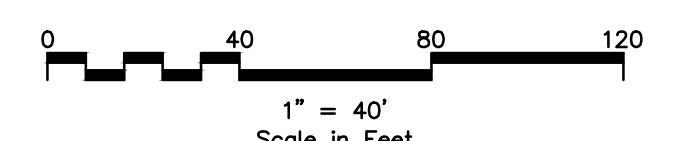
SNOW STORAGE (PRIOR): 40,800 SF±
SNOW STORAGE (CURRENT): 31,608 SF±
ADDITIONAL STORAGE: 9,200 SF±

BUILDING DATA

ZONE: B (BUSINESS ZONE)

- SITE DESIGN NOTES:**
- PROPOSED SIDEWALK PER ISPCW SD-709.
 - INSTALL PEDESTRIAN RAMP PER ISPCW SD-712G AND ADA STALL. ALL ADA STALLS AND PEDESTRIAN RAMPS TO BE INSTALLED PER ADA STANDARDS. SEE C-4 FOR DETAIL.
 - INSTALL PEDESTRIAN RAMP PER ISPCW SD-712C. ALL ADA STALLS AND PEDESTRIAN RAMPS TO BE INSTALLED PER ADA STANDARDS. SEE C-4 FOR DETAIL.
 - PROPOSED CURB & GUTTER TYPE III PER ISPCW SD-701.
 - PROPOSED REVERSE PAN CURB AND GUTTER PER DETAIL 1.
 - PROPOSED DUMPSTER LOCATION.
 - CONCRETE VALLEY GUTTER PER ISPCW SD-708.

- GENERAL NOTES:**
- CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
 - ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
 - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER ISPCW AND CITY STANDARDS. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
 - SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 - ALL WORK SHALL BE ACCORDING TO ISPCW AND CITY STANDARDS.



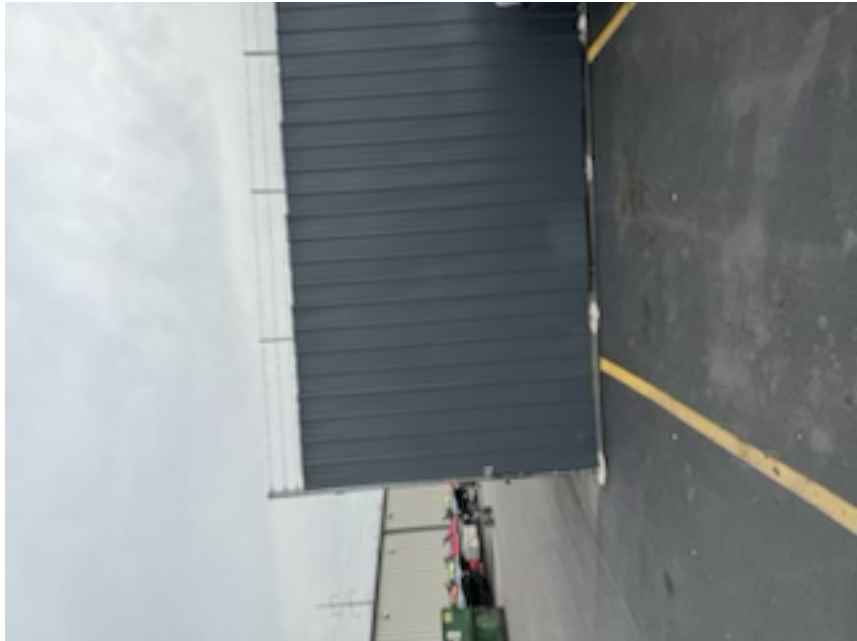
NO.	REVISIONS	BY	DATE
1	CITY COMMENTS	CJ	8/15/24
2	OWNER CHANGE	CJ	11/6/23
3	CONTAINER PERMIT	CJ	11/27/23

LEGEND ENGINEERING
 52 WEST 100 NORTH
 HEBBER CITY, UT 84032
 PHONE: 435-654-4828
 www.legendengineering.com



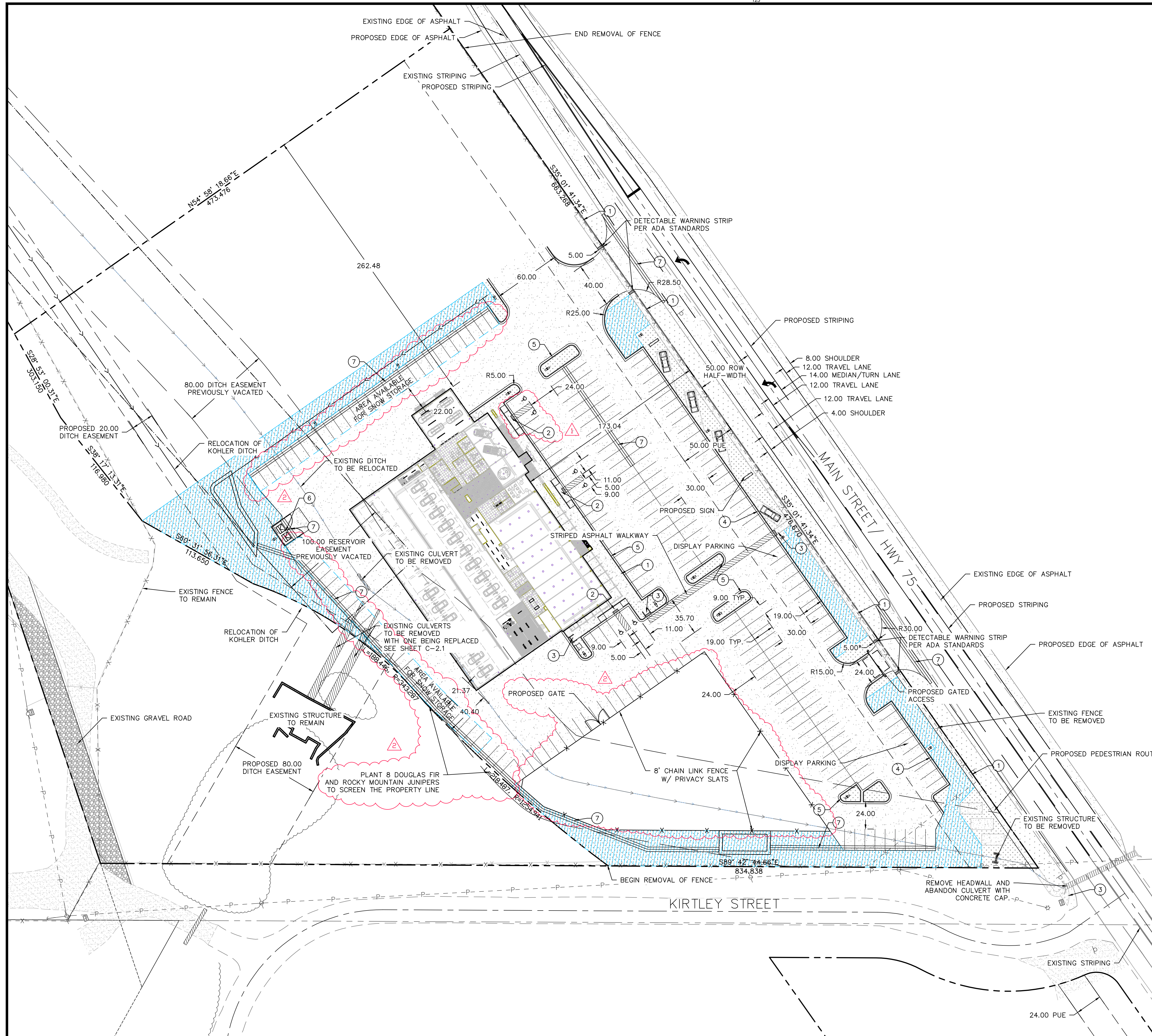
KARL MALONE FORD + POWERSPORTS STORE
SITE PLAN
 11948 STATE HIGHWAY 75, BELLEVUE, ID 83818

SHEET: **C-1**
 DATE: 3/9/2026







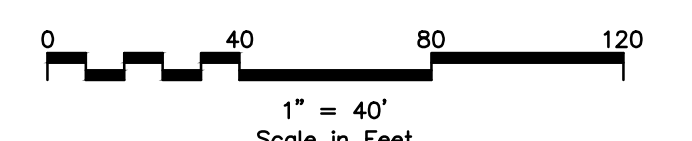


LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	====
PROPOSED CURB AND GUTTER	=====
SETBACK LINE	- - - - -
EXISTING FENCE	- - - X - - -
LANDSCAPE AREA	[Dotted Pattern]
CONCRETE AREA	[Solid Grey]
PROPOSED ASPHALT AREA	[Hatched Pattern]
SNOW STORAGE AREA	[Blue Hatched Pattern]

SITE DATA	
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BUILDING DATA	
ZONE: B (BUSINESS ZONE)	

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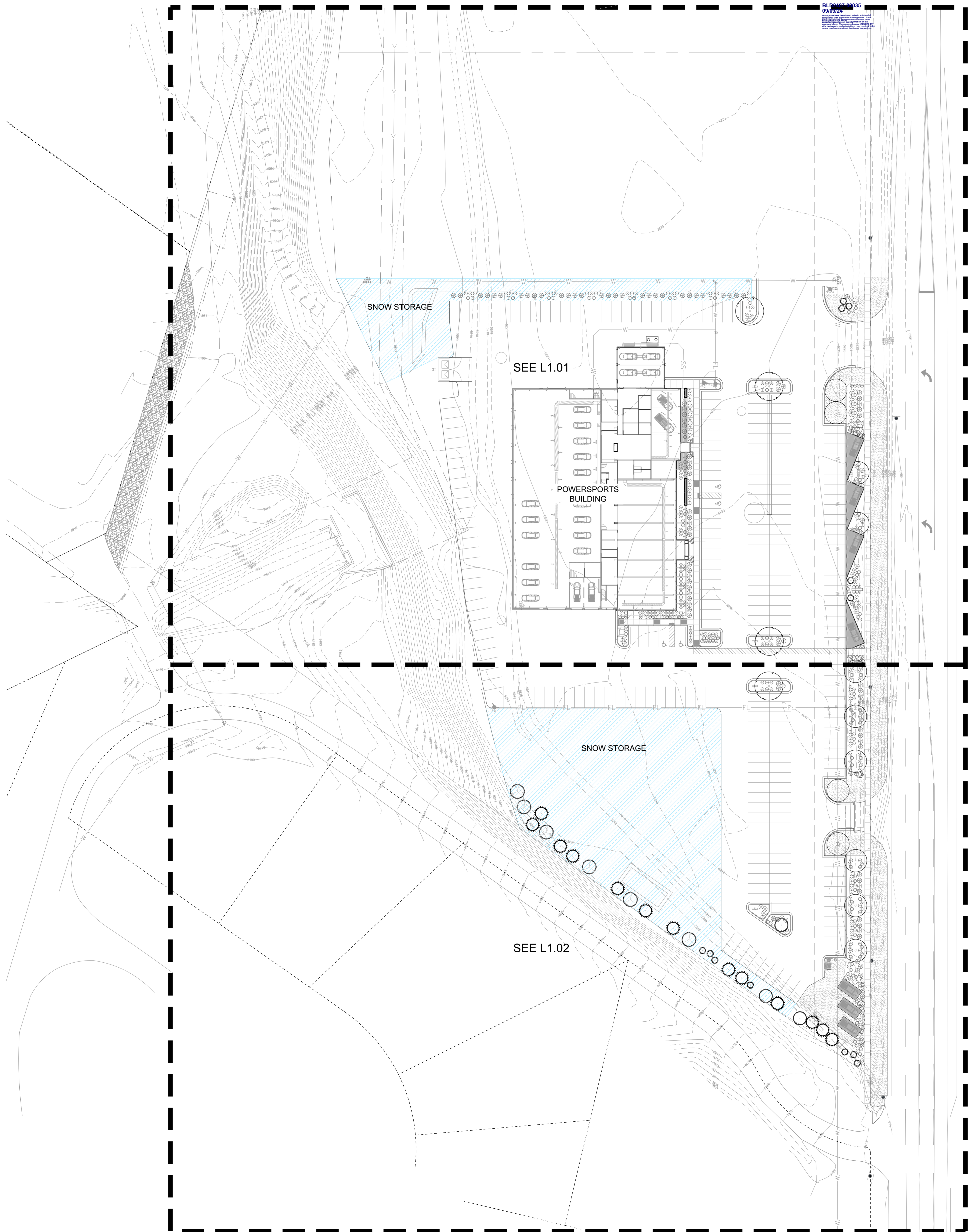
NO.	REVISIONS	BY	DATE
1	CITY COMMENTS	CJ	8/15/24
2	OWNER CHANGE	CJ	11/8/25

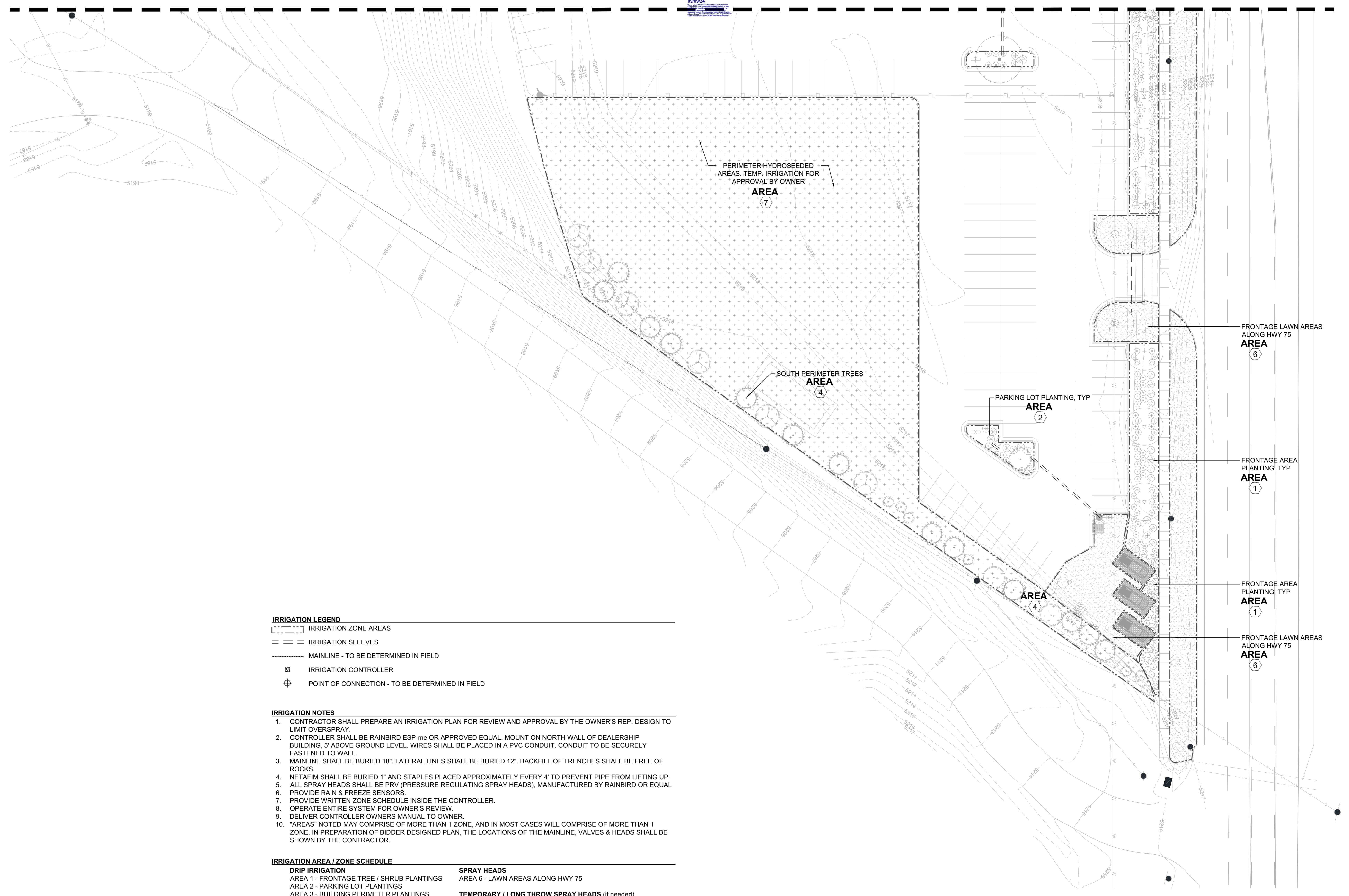
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KARL MALONE FORD + POWERSPORTS STORE
SITE PLAN
 11948 STATE HIGHWAY 75, BELLEVUE, ID 83818

SHEET: **C-1**
 DATE: 11/12/2025





- IRRIGATION LEGEND**
- IRRIGATION ZONE AREAS
 - == IRRIGATION SLEEVES
 - MAINLINE - TO BE DETERMINED IN FIELD
 - ⊠ IRRIGATION CONTROLLER
 - ⊕ POINT OF CONNECTION - TO BE DETERMINED IN FIELD

- IRRIGATION NOTES**
1. CONTRACTOR SHALL PREPARE AN IRRIGATION PLAN FOR REVIEW AND APPROVAL BY THE OWNER'S REP. DESIGN TO LIMIT OVERSPRAY.
 2. CONTROLLER SHALL BE RAINBIRD ESP-me OR APPROVED EQUAL. MOUNT ON NORTH WALL OF DEALERSHIP BUILDING, 5' ABOVE GROUND LEVEL. WIRES SHALL BE PLACED IN A PVC CONDUIT. CONDUIT TO BE SECURELY FASTENED TO WALL.
 3. MAINLINE SHALL BE BURIED 18". LATERAL LINES SHALL BE BURIED 12". BACKFILL OF TRENCHES SHALL BE FREE OF ROCKS.
 4. NETAFIM SHALL BE BURIED 1" AND STAPLES PLACED APPROXIMATELY EVERY 4' TO PREVENT PIPE FROM LIFTING UP.
 5. ALL SPRAY HEADS SHALL BE PRV (PRESSURE REGULATING SPRAY HEADS), MANUFACTURED BY RAINBIRD OR EQUAL.
 6. PROVIDE RAIN & FREEZE SENSORS.
 7. PROVIDE WRITTEN ZONE SCHEDULE INSIDE THE CONTROLLER.
 8. OPERATE ENTIRE SYSTEM FOR OWNER'S REVIEW.
 9. DELIVER CONTROLLER OWNERS MANUAL TO OWNER.
 10. "AREAS" NOTED MAY COMPRISE OF MORE THAN 1 ZONE, AND IN MOST CASES WILL COMPRISE OF MORE THAN 1 ZONE. IN PREPARATION OF BIDDER DESIGNED PLAN, THE LOCATIONS OF THE MAINLINE, VALVES & HEADS SHALL BE SHOWN BY THE CONTRACTOR.

IRRIGATION AREA / ZONE SCHEDULE

DRIP IRRIGATION	SPRAY HEADS
AREA 1 - FRONTAGE TREE / SHRUB PLANTINGS	AREA 6 - LAWN AREAS ALONG HWY 75
AREA 2 - PARKING LOT PLANTINGS	
AREA 3 - BUILDING PERIMETER PLANTINGS	TEMPORARY / LONG THROW SPRAY HEADS (if needed)
AREA 4 - SOUTH PERIMETER TREES	AREA 7 - AREAS OUTSIDE PARKING AREA
AREA 5 - NORTH PERIMETER SHRUB PLANTINGS	REQUIRING TEMP IRRIGATION FOR
	ESTABLISHMENT OF HYDROSEED MIX
	CONFIRM TEMPORARY OR LONG THROW HEADS
	WITH OWNER



DRAWING SET:
BUILDING PERMIT SUBMITTAL

REVISIONS:
 REV 1:
 REV 2:
 REV 3:

PROJECT ADDRESS:

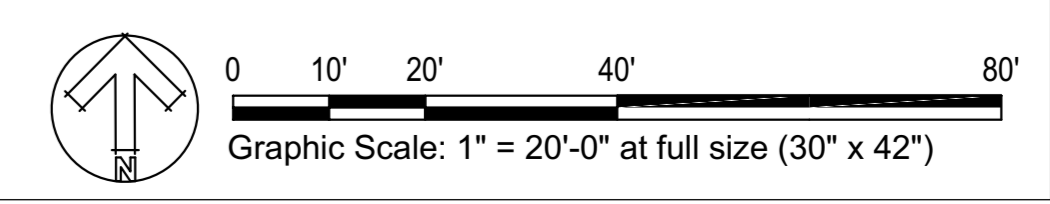
Karl Malone Powersports Store
 Kirtley and Main Streets
 Bellevue, Idaho

DESIGN: M.J.
 DRAWN: M.J.
 CHECKED: EW
 DATE: November 28, 2023
 PROJECT: KM Powersports
 NUMBER: LLA0403.23
 SCALE: 1" = 20'-0"
 TITLE:

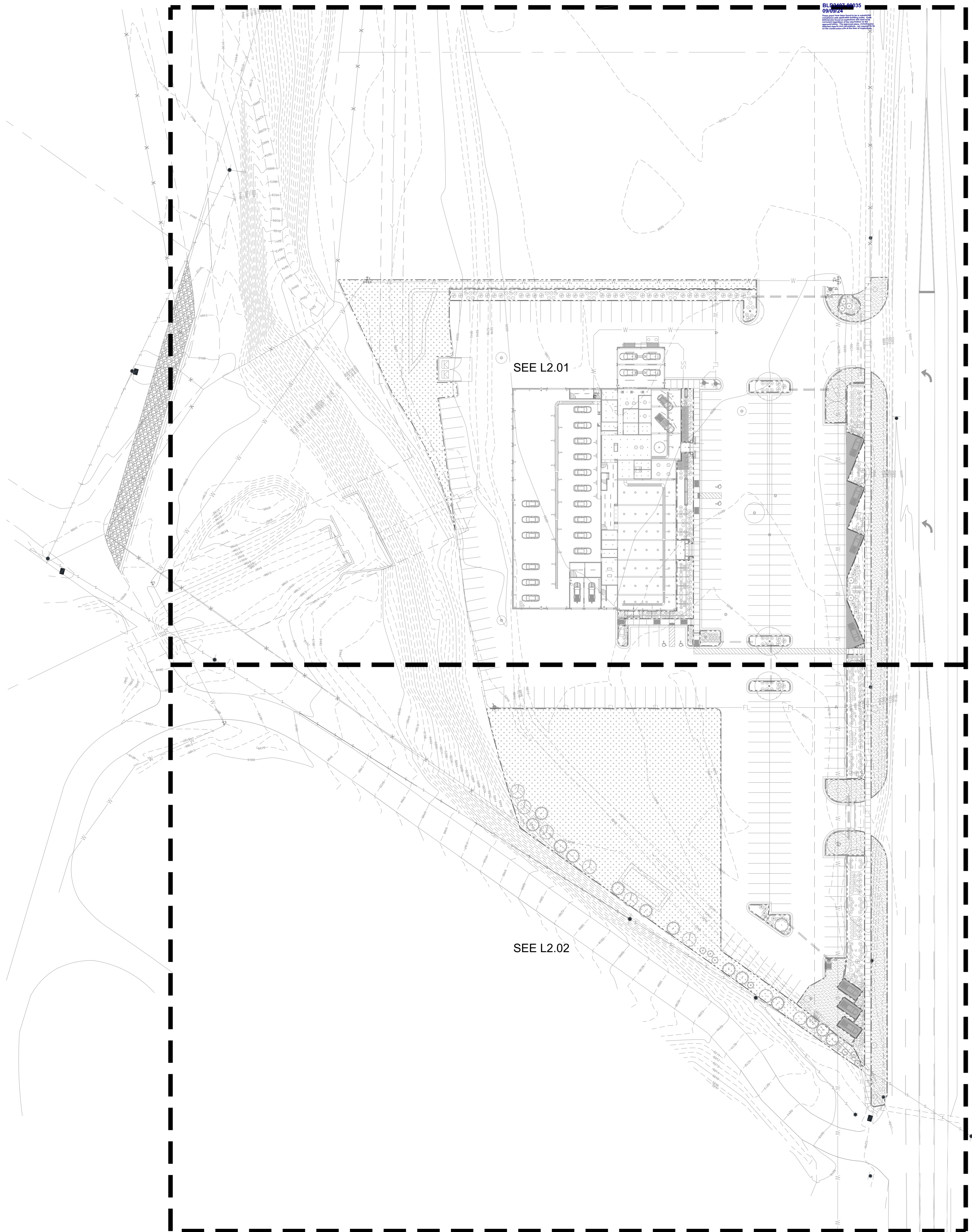
IRRIGATION PLAN SOUTH

SHEET:

L2.02



129
APPROVED
BY: M.J. MOGHANLI
DATE: 11/28/23



DRAWING SET:
**BUILDING PERMIT
SUBMITTAL**

REVISIONS:
REV 1:
REV 2:
REV 3:

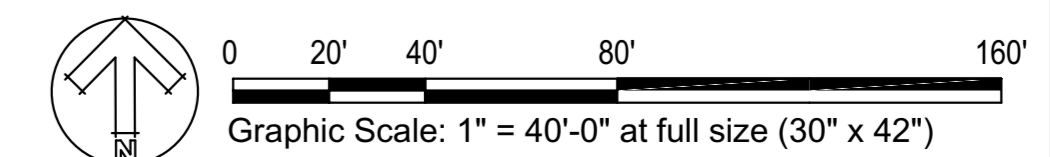
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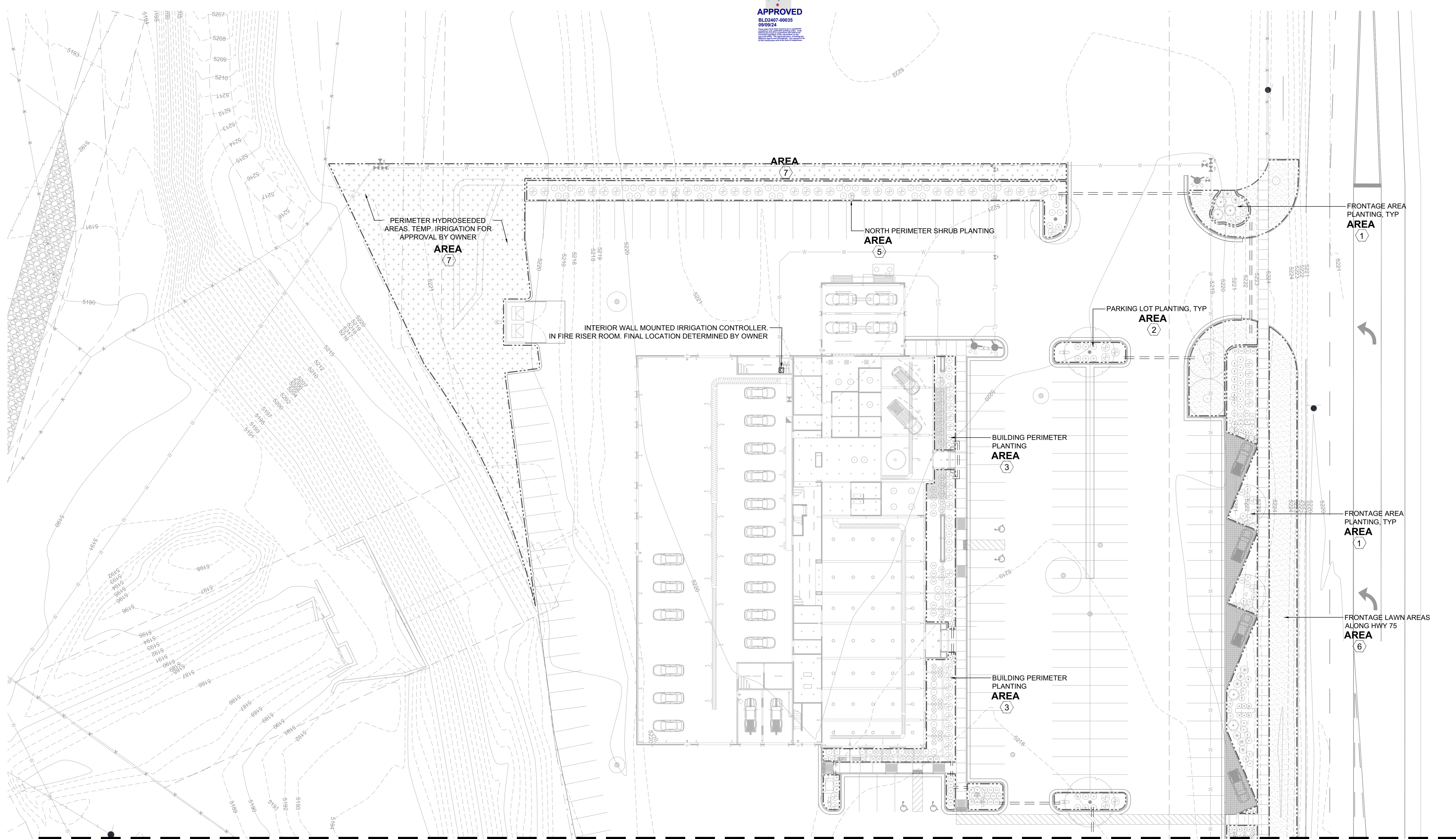
Karl Malone Powersports Store
Kirtley and Main Streets
Bellevue, Idaho

DESIGN: M.J.
DRAWN: M.J.
CHECKED: EW
DATE: November 28, 2023
PROJECT: KM Powersports
NUMBER: LLA0403.23
SCALE: 1" = 40'-0"
TITLE:

**OVERALL
IRRIGATION
PLAN**

SHEET:
L2.00





SEE L2.02



DRAWING SET:
BUILDING PERMIT SUBMITTAL

REVISIONS:
 REV 1:
 REV 2:
 REV 3:

PROJECT ADDRESS:

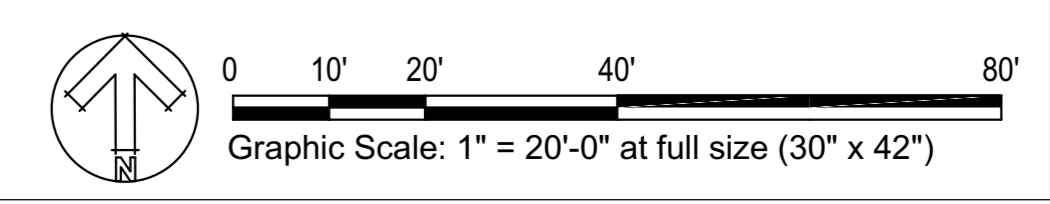
Karl Malone Powersports Store
 Kirtley and Main Streets
 Bellevue, Idaho

DESIGN: M.J.
 DRAWN: M.J.
 CHECKED: EW
 DATE: November 28, 2023
 PROJECT: KM Powersports
 NUMBER: LLA0403.23
 SCALE: 1" = 20'-0"
 TITLE:

IRRIGATION PLAN NORTH

SHEET:

L2.01



TREES / DECIDUOUS



ROYAL RAINDROP CRABAPPLE



SPRING SNOW CRABAPPLE



PRAIRIE SILK HONEYLOCUST



GINNALA FLAME MAPLE

TREES / EVERGREEN



MUGO PINE



WICHITA BLUE JUNIPER



VANDERWOLF PYRAMID PINE

SHRUBS



SLOWMOUND DWARF MUGO PINE



BIRCH-LEAF SPIREA



MAGIC CARPET SPIREA



BARBERRY ORANGE ROCKET



ARCTIC WILLOW



GOLDFINGER POTENTILLA

GROUNDCOVERS / ORNAMENTAL GRASSES



KARL FOERSTER GRASS



BLUE OAT GRASS



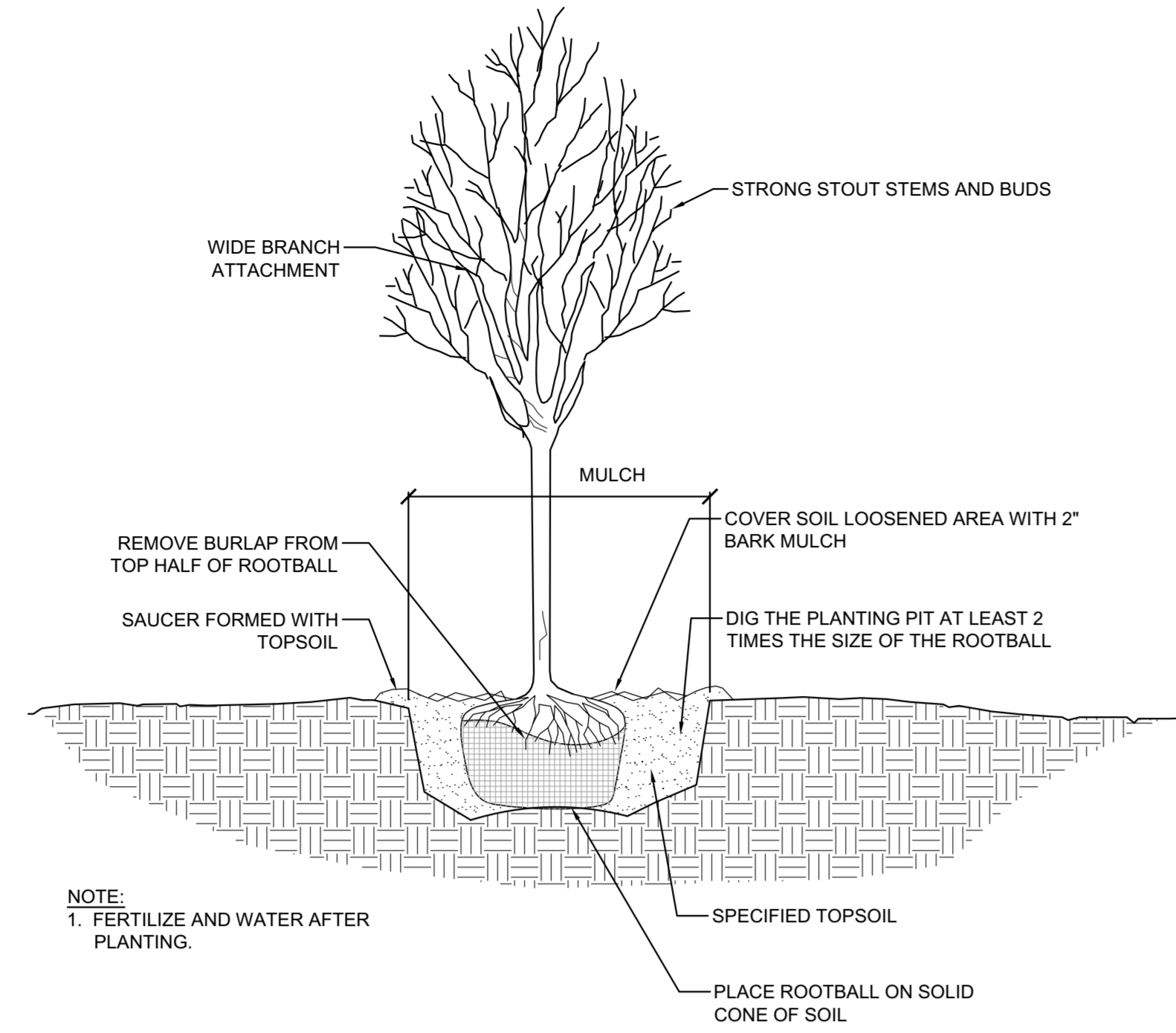
SALVIA MAY NIGHT



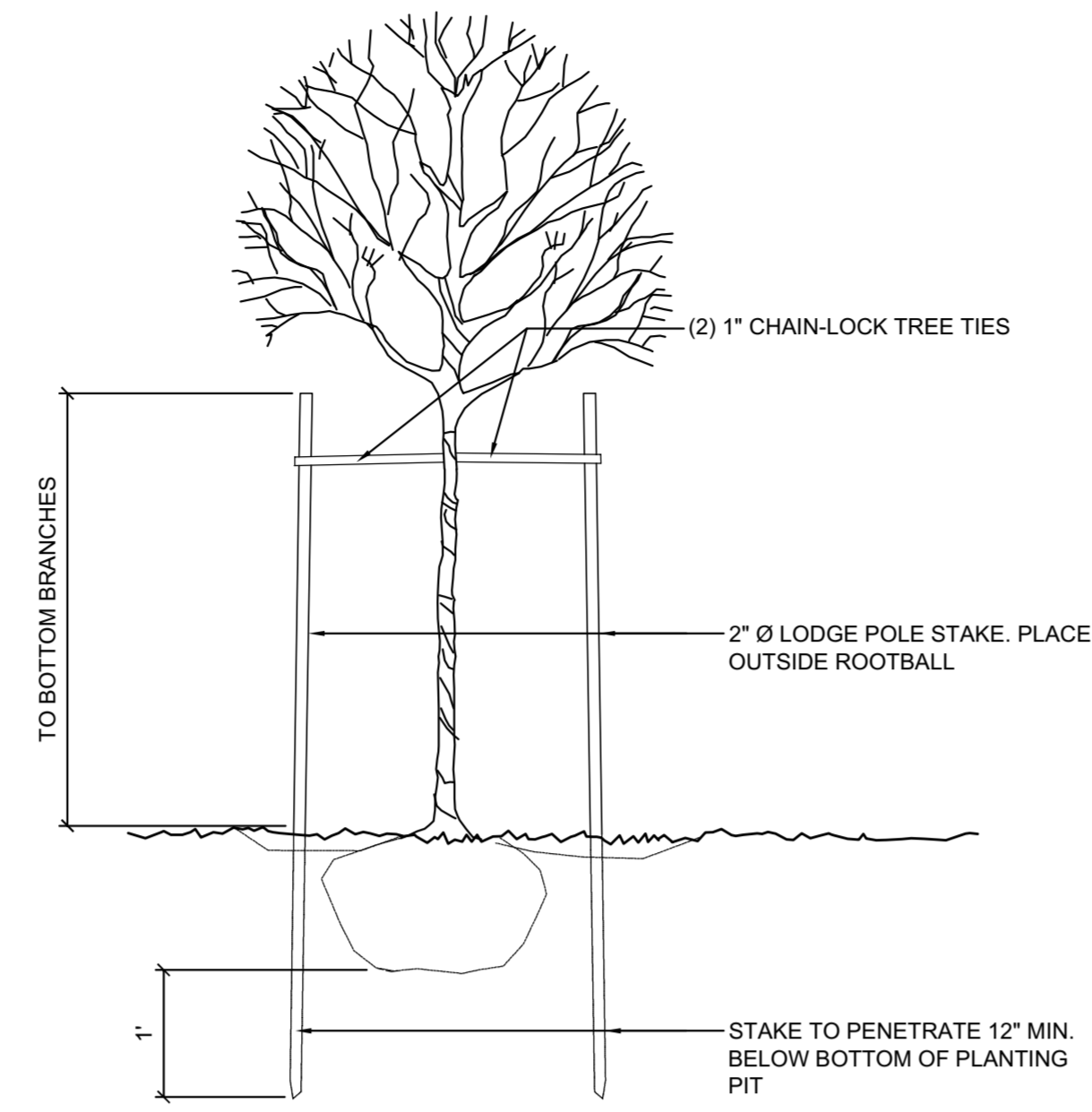
SCOTTISH LINKS GRASS MIX



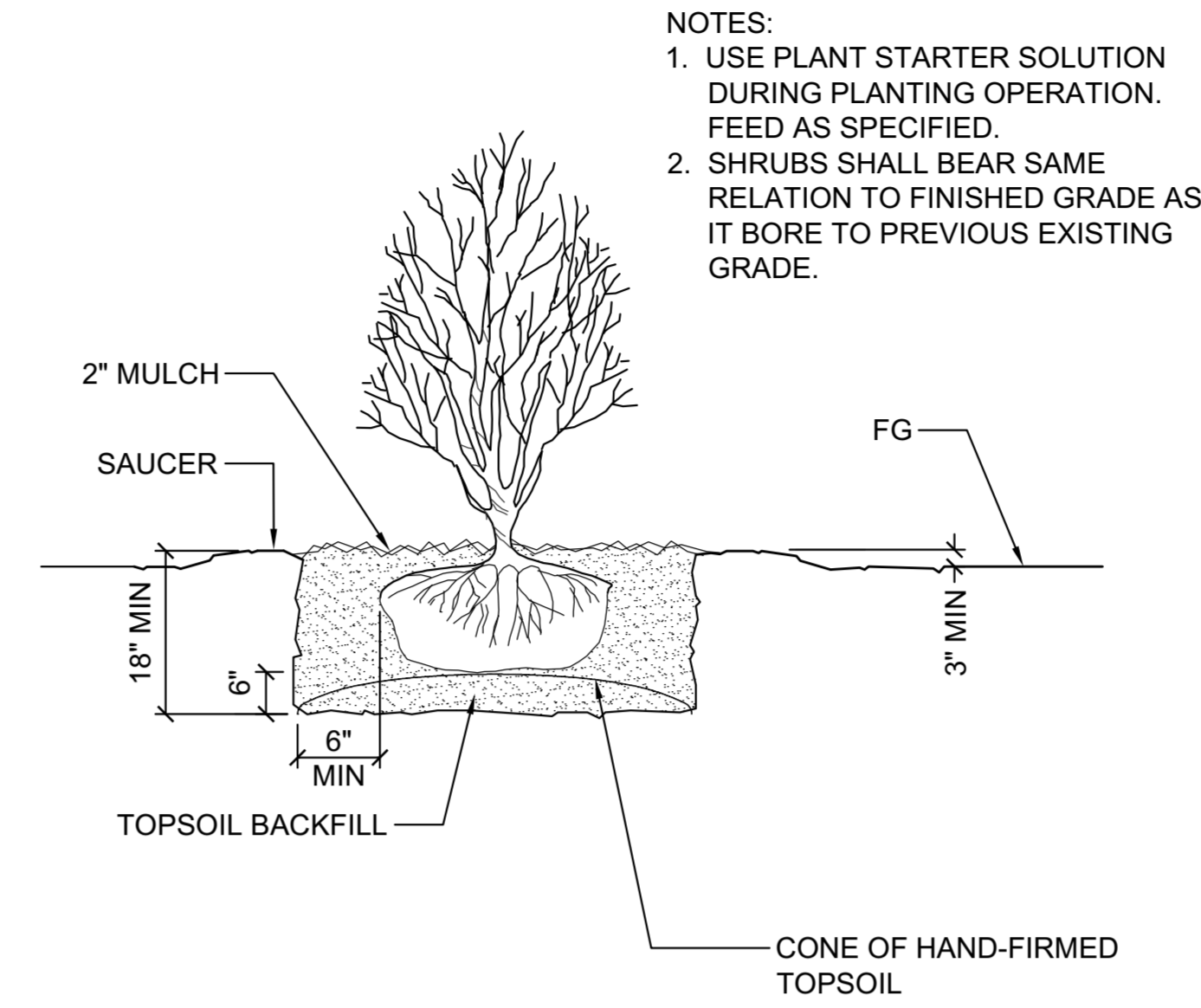
IDAHO NATIVE GRASS MIX



1 TREE PLANTING DETAIL
 SCALE: NTS

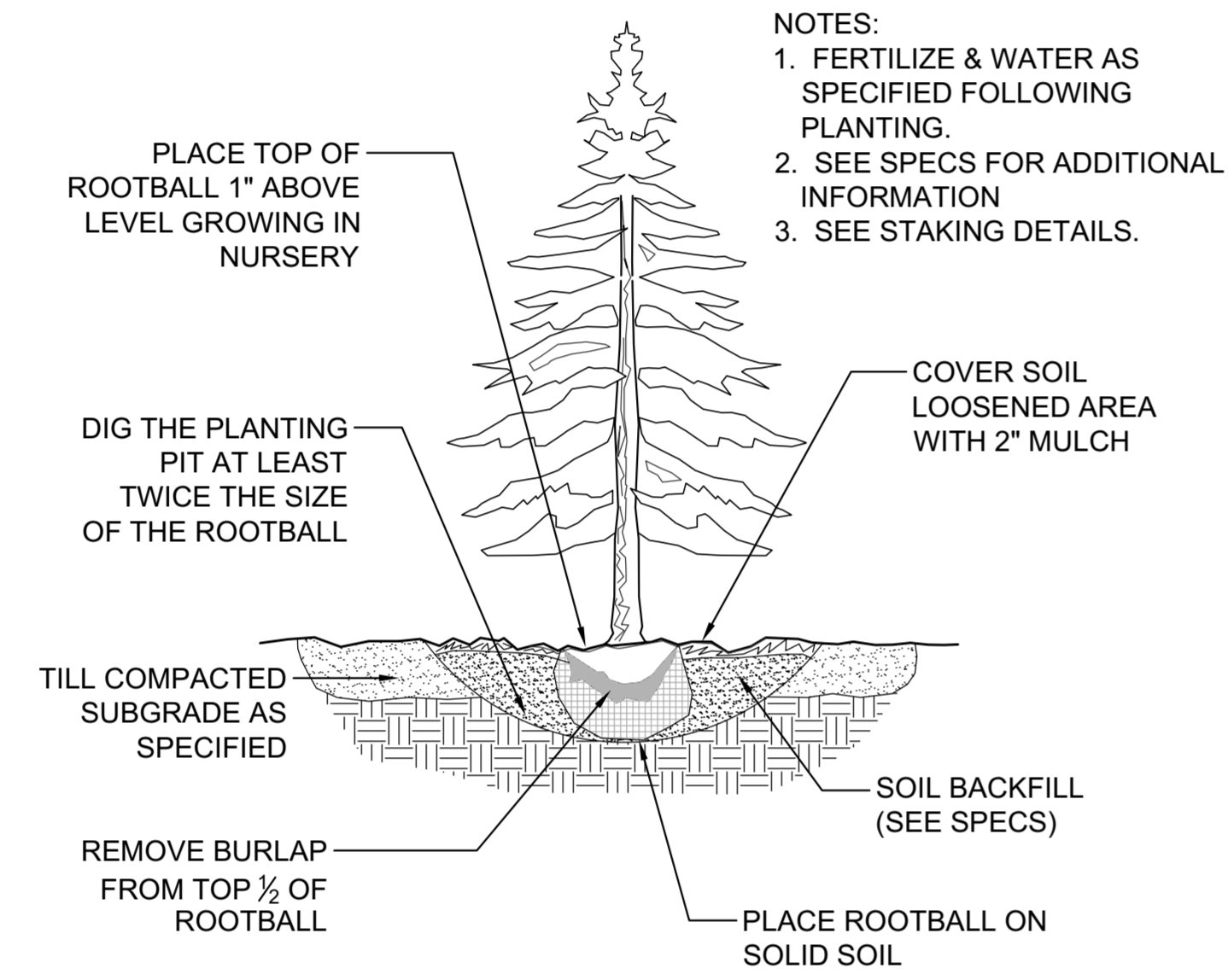


2 DECIDUOUS TREE STAKING DETAIL
 SCALE: NTS

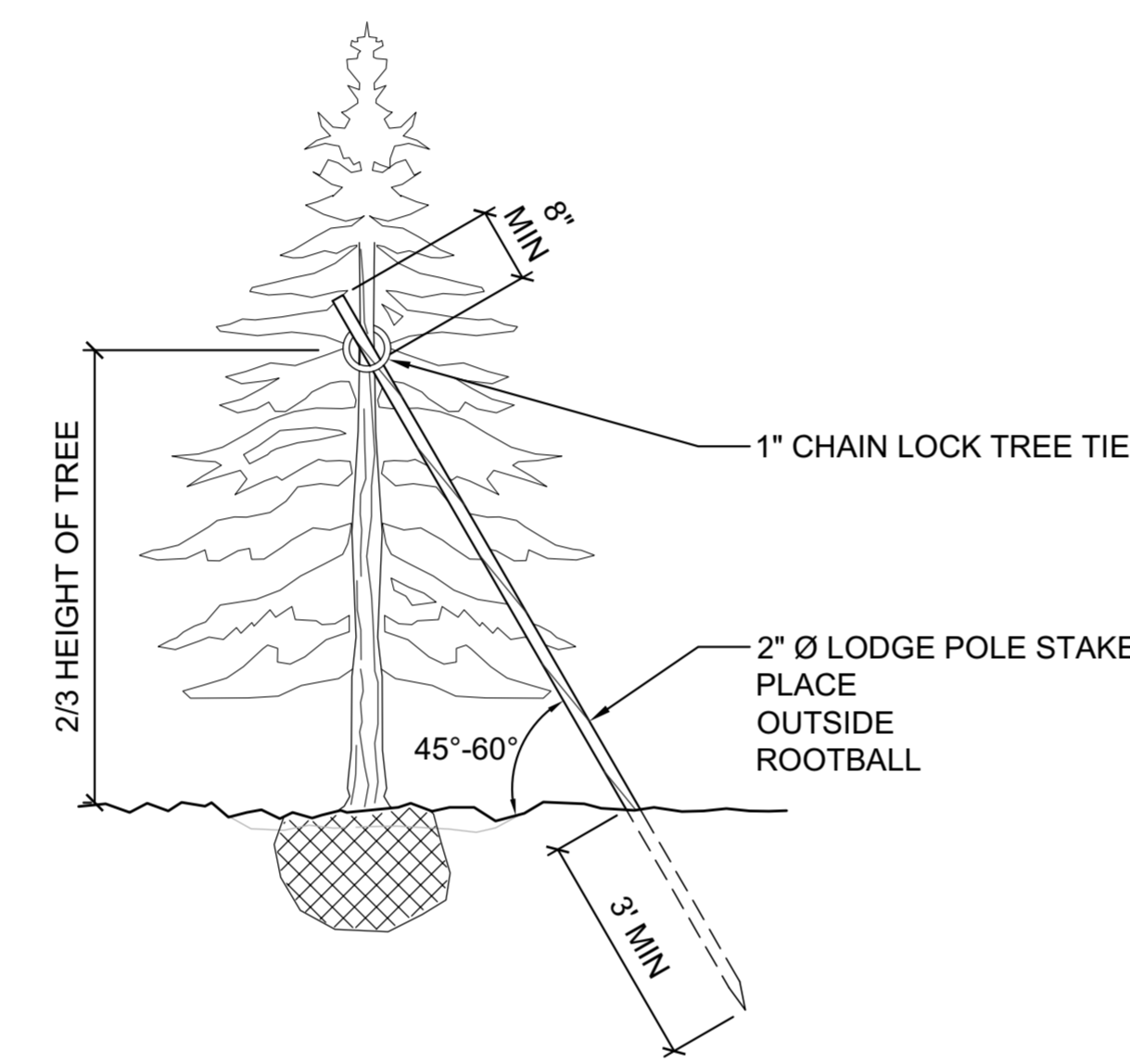


3 SHRUB / GRASS PLANTING DETAIL
 SCALE: NTS

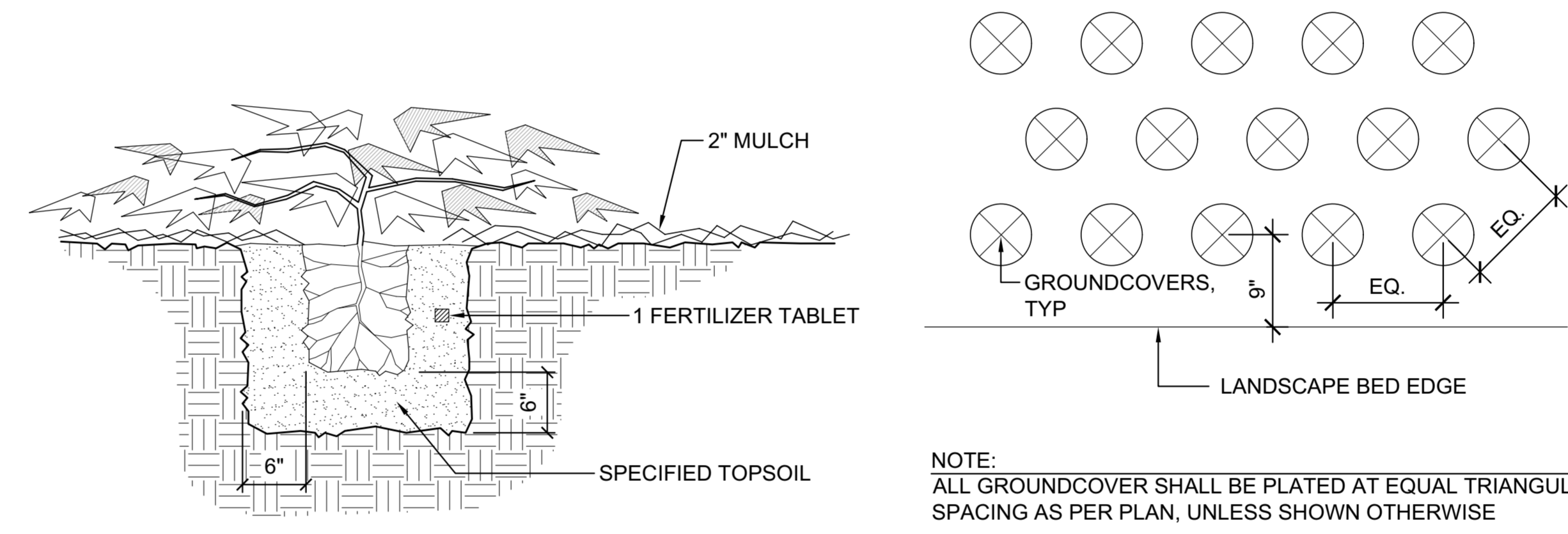
NOTES:
 1. USE PLANT STARTER SOLUTION DURING PLANTING OPERATION. FEED AS SPECIFIED.
 2. SHRUBS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



4 CONIFER PLANTING DETAIL
 SCALE: NTS



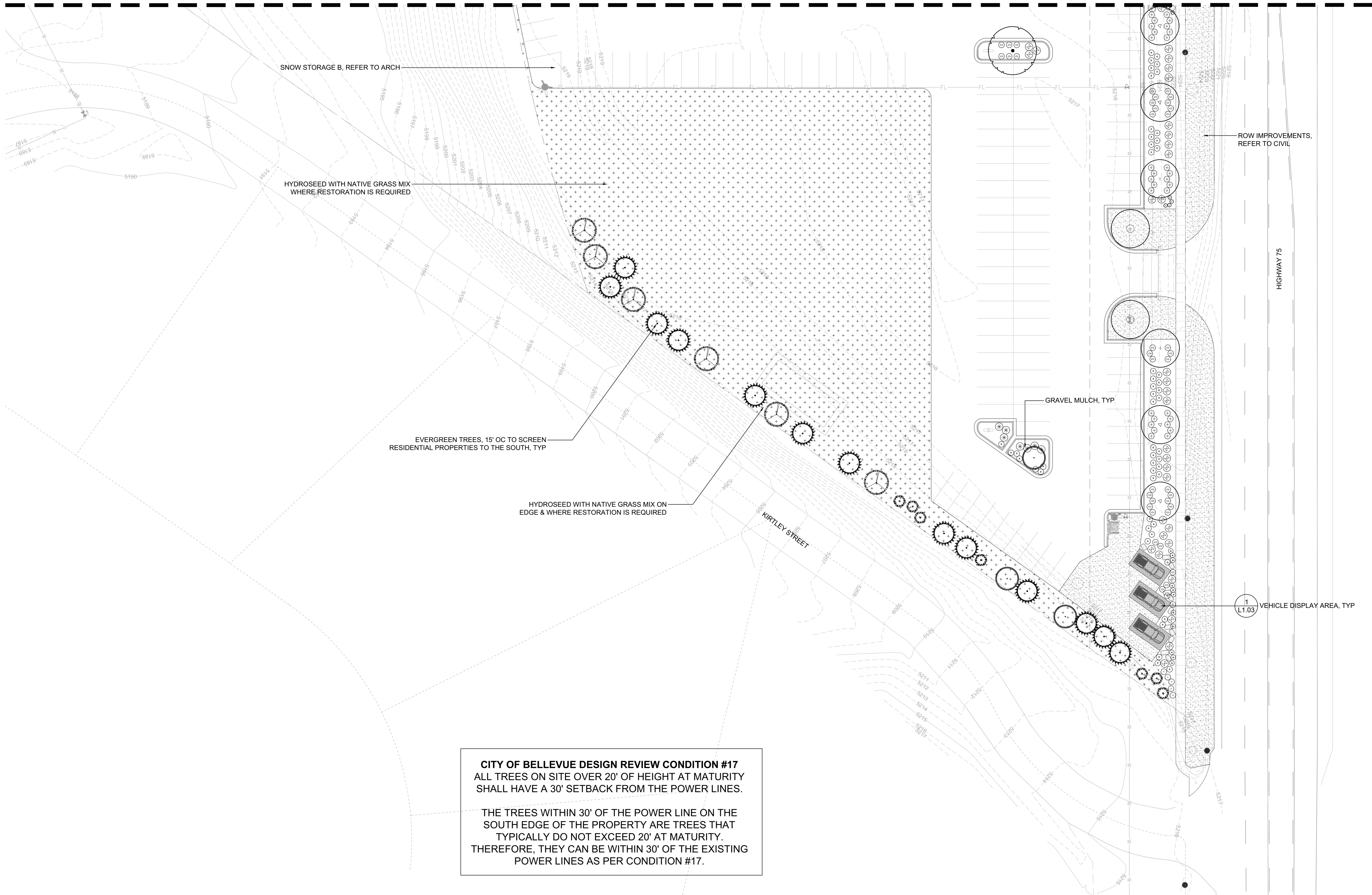
5 CONIFER TREE STAKING
 SCALE: NTS



6 GROUNDCOVER / PERENNIAL PLANTING DETAIL
 SCALE: NTS

NOTE:
 ALL GROUNDCOVER SHALL BE PLATED AT EQUAL TRIANGULAR SPACING AS PER PLAN, UNLESS SHOWN OTHERWISE

SEE L1.01



SNOW STORAGE B. REFER TO ARCH

HYDROSEED WITH NATIVE GRASS MIX WHERE RESTORATION IS REQUIRED

EVERGREEN TREES, 15' OC TO SCREEN RESIDENTIAL PROPERTIES TO THE SOUTH, TYP

HYDROSEED WITH NATIVE GRASS MIX ON EDGE & WHERE RESTORATION IS REQUIRED

GRAVEL MULCH, TYP

ROW IMPROVEMENTS, REFER TO CIVIL

HIGHWAY 75

1
L1.03 VEHICLE DISPLAY AREA, TYP

CITY OF BELLEVUE DESIGN REVIEW CONDITION #17
 ALL TREES ON SITE OVER 20' OF HEIGHT AT MATURITY SHALL HAVE A 30' SETBACK FROM THE POWER LINES.

THE TREES WITHIN 30' OF THE POWER LINE ON THE SOUTH EDGE OF THE PROPERTY ARE TREES THAT TYPICALLY DO NOT EXCEED 20' AT MATURITY. THEREFORE, THEY CAN BE WITHIN 30' OF THE EXISTING POWER LINES AS PER CONDITION #17.

DRAWING SET:

BUILDING PERMIT SUBMITTAL

REVISIONS:
 REV 1:
 REV 2:
 REV 3:

PROJECT ADDRESS:

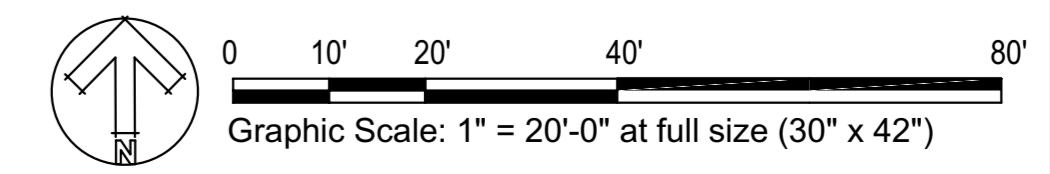
Karl Malone Powersports Store
 Kirtley and Main Streets
 Bellevue, Idaho

DESIGN: M.J.
 DRAWN: M.J.
 CHECKED: EW
 DATE: November 28, 2023
 PROJECT: KM Powersports
 NUMBER: LLA0403.23
 SCALE: 1" = 20'-0"
 TITLE:

LANDSCAPE PLAN SOUTH

SHEET:

L1.02



LANDSCAPE REQUIREMENTS

- Snow Storage Refer to Architectural Drawings
- Landscape Area Total Undisturbed & Land. Area / Proj. Site = 179,079sf / 317,117sf = 56% Undisturbed & Land. Area
- Street Frontage (10-17-4.3.f) 680 LF of Street Frontage Improvements
680 LF / 35 LF per Tree = 19 Street Trees Required
20 Street Trees Proposed
50% of Street Frontage shall be landscaped with 20+ parking spaces
90 LF of 680 LF proposed as entry drive
(680 - 90) / 680 = 87% of Street Frontage proposed to be landscaped
- Parking Area(10-17-5.C.8) 10% of parking area of parking lots with 20+ spaces shall be landscaped with islands & dividers
43,081 sf of parking area within parking lots
5,312 sf of landscape islands and dividers
5,312 / 43,081 = 12% of parking area is proposed to be landscaped
- Drainage Refer to Civil Drawings
- Walls and Fences No Site Walls or Fences
- Irrigation System Irrigation System shall be Bidder Design. Refer to L2.xx drawings
Irrigation System shall use an automatic rain sensing controller providing complete coverage to all vegetation
Irrigation System shall use a drip system for all plant areas except lawn areas. Lawn shall be covered by spray heads

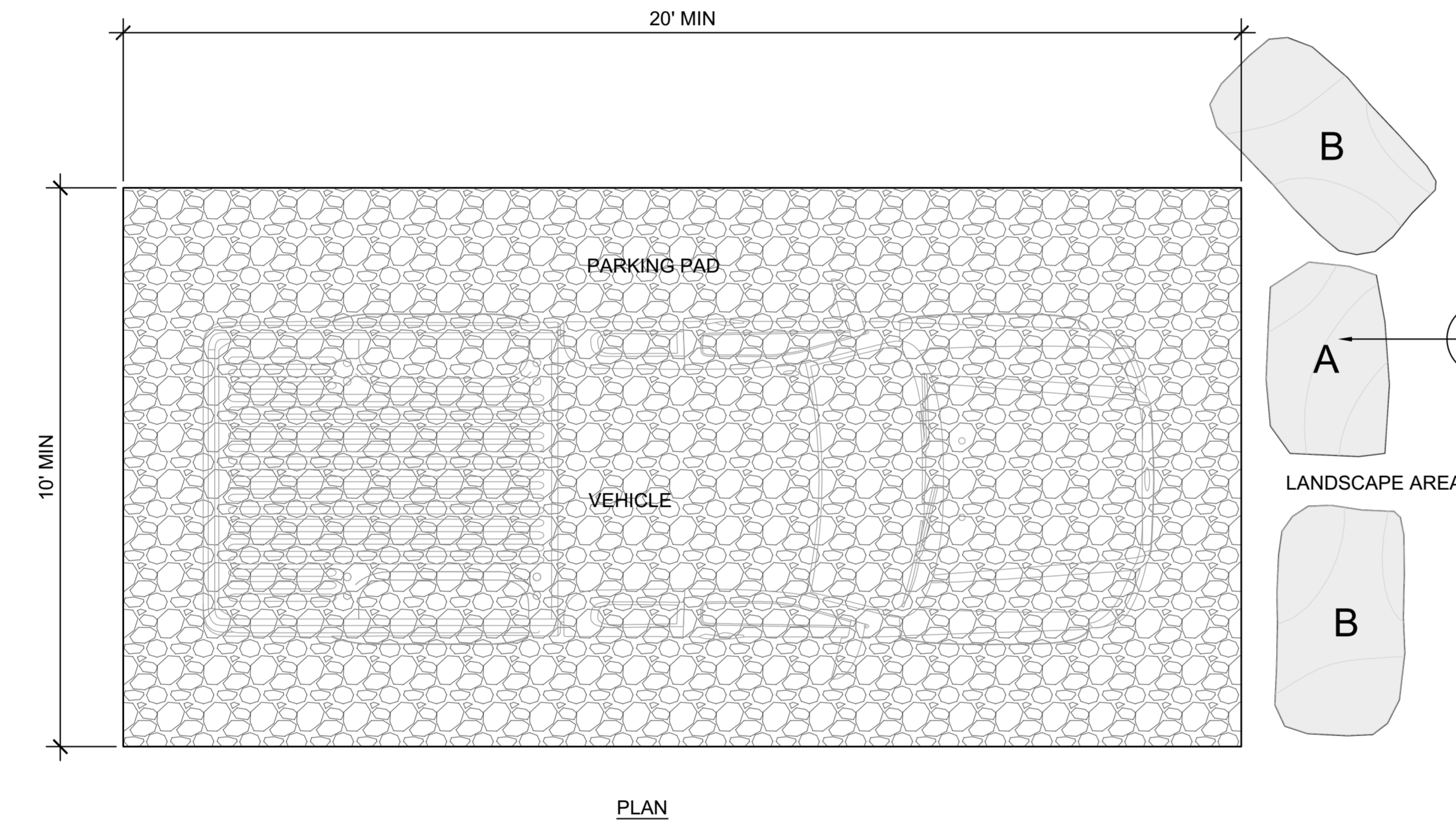
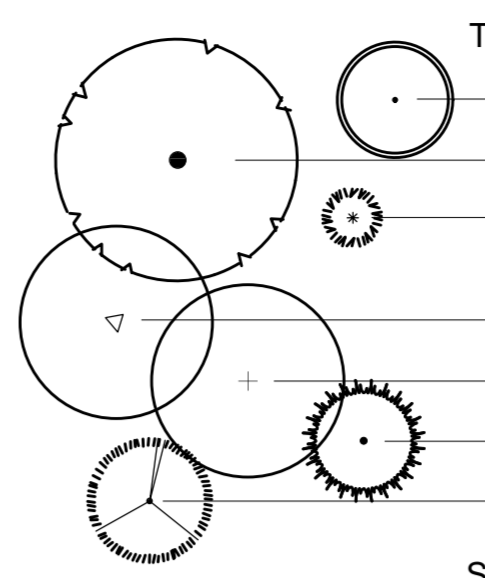
LANDSCAPE SPECIFICATIONS & NOTES

- SCOPE OF WORK
a. The landscaping and irrigation work is part of a larger site project resulting in disturbance to the site, landscape and irrigation. As such, the landscape contractor shall coordinate all work with the general contractor, both before any construction begins, and during the course of construction.
- MATERIALS
a. Topsoil. Topsoil shall be Winn's Compost 50:50 or 40:60 Soil to Compost Mix. Winn's Compost 208-309-2525
b. Mulch. Mulch shall be a 1/2" - 1" crushed stone in white, light gray and tan colors, applied to a min. 2" depth on all landscape planting beds excluding lawn and hydroseeded areas. Mulch color samples to be approved by architect and/or owner.
c. Filter Fabric. Filter Fabric shall be laid between new topsoil layer and crushed stone mulch layer in all planting beds excluding lawn and hydroseeded areas.
d. Fertilizer. Agraform 21-gram tablet time release fertilizer shall be used in all plantings. Place 1 for each ground cover, 2 for each shrub and 4 for each tree. They shall be placed in the plant pits as detailed. Also, top dress all plants with a suitable 'starter' fertilizer.
e. Tree Stakes. Tree stakes shall be 2" diameter x 8' length Lodgepole pine. Fasteners shall be 1" PVC Chain-Lock, placed as detailed.
f. Edging. Steel Edging shall be used to separate planting areas from mulch and hydroseeded and lawn areas. A steel edging material shall be used with a minimum depth of 4" throughout
- SOIL PREPARATION
a. Prior to any landscape work, contractor shall remove, or have removed, all debris from the other building trades from the landscape surfaces. NO landscape work shall commence until the areas are cleared of other trades debris.
b. Cultivate the existing ground surface to a minimum depth of 8" and remove all rocks over 2", existing roots and other debris.
c. Fine grade the subgrade to adjoining surfaces in preparation of adding specified topsoil.
d. Beds. Place a minimum of 8" of specified topsoil on all beds and till or cultivate the topsoil a minimum depth of 12". Remove all rock and debris which may surface. Finished grade of topsoil shall be 2.5" below adjoining paved surfaces, allowing 2" for mulch. Therefore, finished grade shall be 1/2" below paved surface.
- PLANTING OF TREES, SHRUBS AND GROUNDCOVERS
a. Contractor responsible to verify quantities.
e. Contractor is to confirm that all beds are prepared and ready for planting, without interference with other trades.
c. Layout all plants as per plan and approval by Landscape Architect or Owner's Rep, making sure the plants are orientated to give best appearance to the viewer.
d. Pit plant all plants into prepared soil and plant per the details. While planting, hand water the plants into the plant pits thoroughly soaking the root balls and soil. Place fertilizer tablets as specified, filling plant pits with specified topsoil. Top dress fertilize when completed.
e. Trees planted 5' or less from paved surfaces shall be planted with a root barrier control.
- PLANTING OF STREET TREES
a. Planted Street trees shall be 3" caliper and planted in spring or fall
b. Root Barriers shall be provided for all street trees
- WARRANTY
a. All landscaping shall be warranted for one year from FINAL ACCEPTANCE. Plants requiring replacement shall be of the original variety and size as specified herein.
- IRRIGATION
a. An automatic irrigation system using drip irrigation to be installed through Bidder Design
b. The irrigation system to provide complete coverage and to be properly zoned for each hydrozone.
c. Contractor to confirm location of controller with owner.
d. Contractor to confirm acceptable pressure for Irrigation System
e. Contractor to provide Coverage Test for approval by Landscape Architect or Owner.
f. Contractor to schedule controller and provide instruction manual to owner at completion.



PLANT SCHEDULE

QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING, NOTES
TREES			
3	Acer ginnala 'Flame'	Flame Ginnala Maple	1.5" cal, full & uniform branching, B&B
4	Gleditsia triacanthos 'Prairie Silk'	Prairie Silk Honeylocust	2" cal, full and uniform branching, straight trunk, B&B
13	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	6'-8" ht, 8' OC, full and uniform branching
6	Malus 'Spring Snow'	Spring Snow Crabapple	3" cal, full and uniform branching, straight trunk, B&B
6	Malus 'Royal Raindrop'	Royal Raindrop Crabapple	3" cal, full and uniform branching, straight trunk, B&B
14	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Limber Pine	6'-8" ht, full and uniform branching, B&B
6	Pinus mugo	Mugo Pine	6'-8" ht, full and uniform branching, B&B
SHRUBS			
21	Berberis thunbergii 'Orange Rocket'	Orange Rocket Barberry	1 gal @ 3' OC
109	Pinus mugo 'Slowmound'	Slowmound Dwarf Mugo Pine	3 gal @ 5' OC
16	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	3 gal @ 4' OC
64	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	3 gal @ 3' OC
88	Spiraea japonica 'Walburna'	Magic Carpet Spirea	3 gal @ 3' OC
PERENNIALS & GRASSES			
59	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Grass	2 gal @ 3' OC
101	Helictotrichon sempervirens	Blue Oat Grass	1 gal @ 3' OC
12	Rudbeckia hirta	Black-eyed Susan	4" pots @ 18" OC
37	Salvia x sylvestris 'May Night'	May Night Sage	4" pot @ 30" OC
	Grass Seed Mix	Scottish Links Seed Mix	14,000 sf. Confirm Quantities. Ref.to Mfg installation recommendation. Webb Nursery 208-788-2066
	Grass Seed Mix	ITD Roadside Seed Mix	47,000 sf. Confirm Quantities. Ref.to Mfg installation recommendation. ITD Certified Road Mix. Webb Nursery 208-788-2066

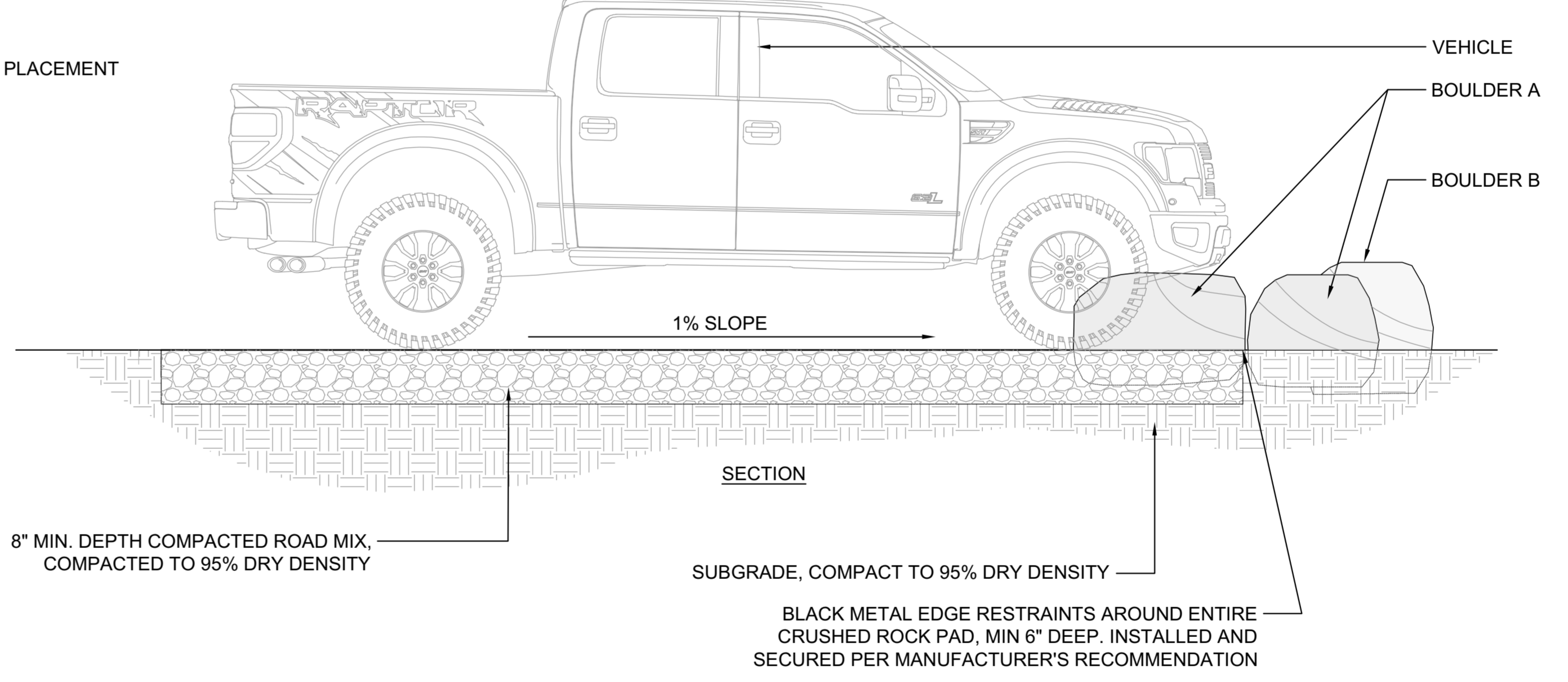


BOULDER LEGEND PER PAD
REFER TO PLAN FOR BOULDER PLACEMENT

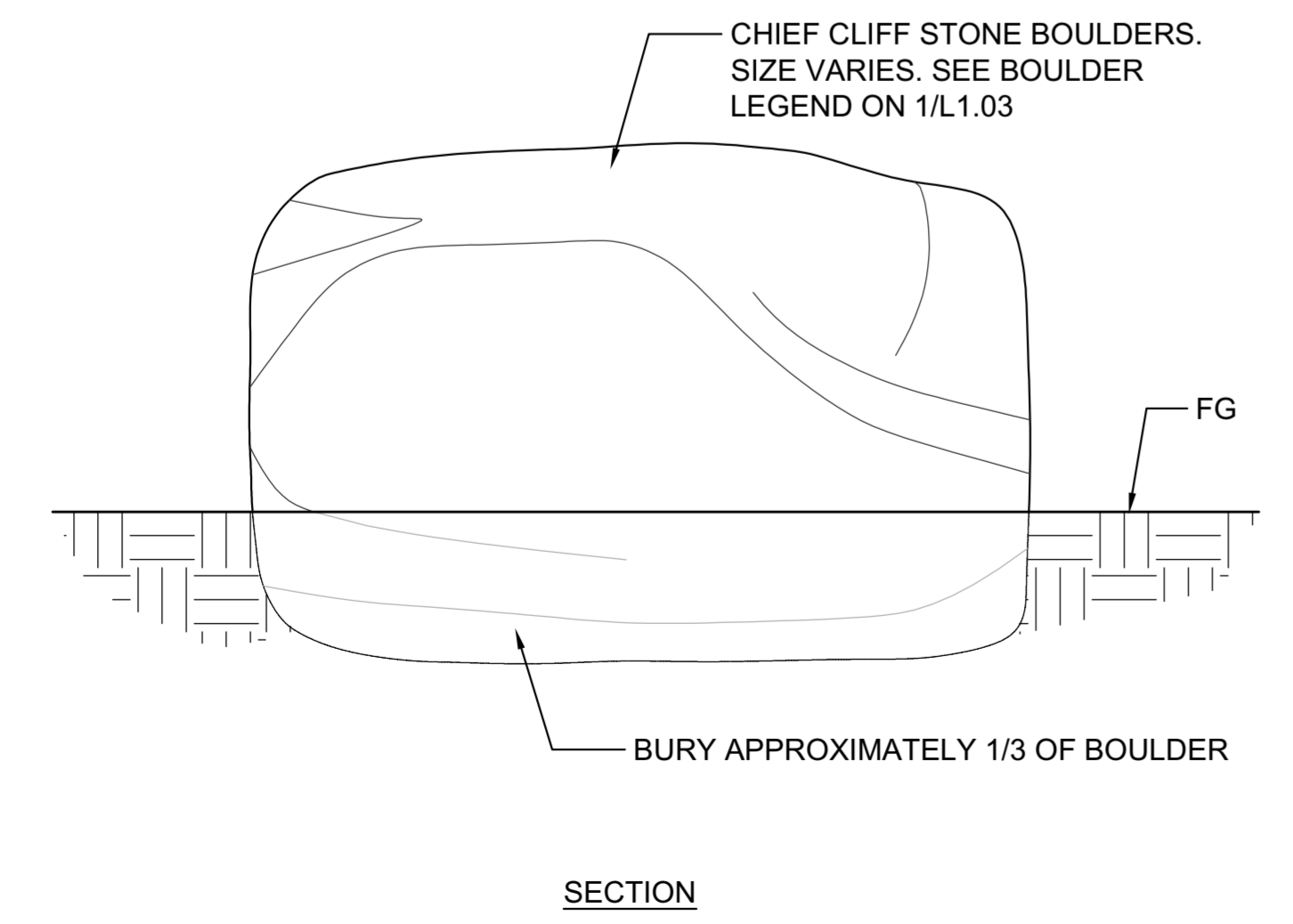
- A 24" x 36" CHIEF CLIFF BOULDERS
- B 36" x 42" CHIEF CLIFF BOULDERS

BURY BOTTOM 1/3 OF BOULDERS, TYP. REFER TO 2/L1.03

*SIZES AND LOCATIONS APPROX. APPROVAL BY ARCHITECT / OWNER AVAILABLE FROM WEBB NURSERY, OR APPROVED EQUAL



1 VEHICLE DISPLAY AREA DETAIL
SCALE: 1/2" = 1'-0"



2 BOULDER PLACEMENT DETAIL
SCALE: 1 1/2" = 1'-0"



BUILDING PERMIT SUBMITTAL

REVISIONS:
REV 1:
REV 2:
REV 3:

PROJECT ADDRESS:

Karl Malone Powersports Store
Kirtley and Main Streets
Bellevue, Idaho

DESIGN: M.J.
DRAWN: M.J.
CHECKED: EW
DATE: November 28, 2023
PROJECT: KM Powersports
NUMBER: LLA0403.23

SCALE: As Shown
TITLE:

PLANT SCHEDULE, NOTES & DETAILS

SHEET:
L1.03



DR-26-01

Staff Report

811 North Main Street

Bellevue Planning & Zoning Commission

March 2, 2026

Malone Shipping
Containers

Executive Summary

Description

An application for Design Review Approval for the placement of four (4) shipping containers to be placed on the site of Karl Malone Ford and Powersports. Two (2) of the containers are proposed to be located within a fenced storage area yet to be constructed, while the other two (2) are proposed to be located along the rear of the building. The property is 4.97 acres and zoned B – Business.

Discussion

- The applicant is requesting to permit the installation of four (4) shipping containers on the site of the Karl Malone Ford and Powersports at 811 North Main Street. Pursuant to Bellevue City Code Section 10-17-3, the placement of any building upon property within the B – Business zoning district requires design review approval. “Building” is defined in Bellevue City Code section 10-2-1 as “any structure used or designed to be used for supporting or sheltering any use or occupancy per City adopted International Building Code.” As the structures are in excess of two hundred (200) square feet, a building permit and compliance with applicable provisions of the International Building Code are required pursuant to Bellevue City Code Section 9-1-2(A).
- The applicant has declined to provide building elevations, landscape plan, lighting plan, or a floor plan. The previously approved landscape, and lighting plans are included for reference, in addition to photos of the shipping containers as they are currently placed.
- The applicant is proposing to place two (2) of the shipping containers within a screening fence. The fence is proposed to be constructed of eight foot (8’) metal panels along the south (Kirtley Street facing) and west (rear of building) sides, painted to match the existing structure on the property. The other two sides are proposed to be constructed from six foot (6’) chain link with privacy slats, also painted to match the existing structure. As the site plan provided shows the two (2) shipping containers located outside of the fenced area, with a note stating that they are to be placed within the fenced area, it is unknown how effectively the screening fence will obscure the shipping containers. The applicant is proposing to place the other two (2) shipping containers along the rear of the building. The eight foot (8’) metal fence is proposed to be extended beyond the location of the shipping containers. To aid in the assessment of effective screening, photos of an eight foot (8’) tall board placed approximately at the location of the proposed fence are included.
- Staff defers to the Commission regarding the proposal’s compliance with the Design Review Standards and Criteria of Bellevue City Code Section 10-17-5.

Recommendations

Actions

Based upon the record provided to date, Staff defers to the Commission regarding the approval of the subject application. Should the Commission vote to approve the subject application, Staff recommends the following conditions of approval:

1. All shipping containers located on the subject property larger than two hundred (200) square feet require a building permit and compliance with applicable building code

requirements. Building permits shall be applied for within one (1) month of the approval of this application, or the shipping containers removed.

2. Prior to the issuance of a temporary or final certificate of occupancy for the shipping containers, all fencing and additional landscaping shown on the site plan shall be installed.
3. All fencing, landscaping, and improvements shall be maintained in a state of good condition in accordance with Bellevue City Code Section 10-17-8.
4. All conditions of approval associated with prior entitlements remain in effect.

Notice of Expiration

Pursuant to Bellevue City Code Section 10-17-7(A), approval of the Design Review application shall expire if the application has not applied for a building permit within one (1) year of the final action by the Commission.

Project Location



Project Analysis

Description

An application for Design Review Approval for the placement of four (4) shipping containers to be placed on the site of Karl Malone Ford and Powersports. Two (2) of the containers are proposed to be located within a fenced storage area yet to be constructed, while the other two (2) are proposed to be located along the rear of the building. The property is 4.97 acres and zoned B – Business.

Legal Description

Lot 2A ,Block 1, KMAM Subdivision, located within Section 26, Township 2 North, Range 18 East, B.M., City of Bellevue, Blaine County, Idaho.

Associated Documents

Document Name	Receipt of Last Revision
Application	February 10, 2026
Site Plan	February 10, 2026
Project Description	February 10, 2026
Exclusion Letter – Exterior Elevations	February 10, 2026
Exclusion Letter – Landscape Plan	February 10, 2026
Exclusion Letter – Lighting Plan	February 10, 2026
Exclusion Letter – Floor Plan	February 10, 2026

Public Noticing

Pursuant to Bellevue City Code Section 10-17-4(C), public notice is not required for Design Review applications.

Applicable Code Sections

Bellevue City Code Section 9-1-2(A): Amendments to IBC:

Section R105.1 of the 2006 International Building Code (IBC) is amended as follows: 1. One-story detached accessory structures used as tool and storage sheds, playhouses and similar uses, provided the floor area does not exceed ~~120~~ 200 square feet.

Bellevue City Code Section 10-17-3: Design Review Approval Required:

- A. Business, Limited Business/Residential, Light Industrial, Light Industrial/Mixed Business, And Transitional Districts: No person shall commence construction repairs on any new building, or placement of any building upon property, or construction of any addition, alteration, or change to or demolition of the exterior of any building, excluding necessary maintenance, within the Business Zoning District, Limited Business/Residential Zoning District, Light Industrial/Mixed Business Zoning District, Light Industrial Zoning District, or Transitional Zoning District in the

City without first receiving applicable design review approval as required by this chapter. No application for a building permit, demolition permit or other permit shall be received or such permit issued by the City for such construction or other work, excluding necessary maintenance, until design review approval has been obtained as applicable herein.

- B. Change Of Use: Change of use shall require an approved large scale conditional use permit for any building exceeding a twenty eight thousand (28,000) square foot building per parcel or lot and shall be in compliance with defined uses per sections [10-7-2](#) and [10-7-4](#) of this title and shall comply with chapter 16 of this title.
- C. ADU (Accessory Dwelling Unit), Multi-Family And Townhouses In All Zoning Districts: No person shall commence construction or placement of any ADU, multi-family dwelling or townhouse, or make any addition, alteration or change to the exterior of any such building, or commence demolition, excluding necessary maintenance thereof, within any zoning district within the City without first having obtained design review approval therefor under the procedures, requirements, standards and criteria of this chapter. The design review application shall provide all the information required in section [10-17-4](#) of this chapter. In order to receive approval, the application shall meet the standards and criteria set forth in subsections 10-17-5A1 through A10, inclusive; subsections 10-17-5B1b through B1d; and subsections 10-17-5C1 through C7, inclusive, of this chapter.

Bellevue City Code Section 10-17-4(C): Application Procedure:

At a noticed Planning and Zoning Commission meeting, the application shall be presented, together with required materials and information. A design review application is not a public hearing. The commission shall be briefed of the application by staff, receive comment from the applicant, and may take public comment from interested persons. The commission shall approve, deny or conditionally approve the application based on design review standards and criteria, and notify the applicant of the commission's decision by the close of the commission's next noticed scheduled meeting, not to exceed thirty (30) days from the design review meeting, except the commission may table an application until it receives requested information, or for additional review due to the complexity of the application, or problems with regard thereto.

Required Findings Code Sections

Bellevue City Code Section 10-17-5: Design Review Standards and Criteria:

The following list of design review criteria shall be met by each applicant seeking design review approval. The Planning and Zoning Commission shall use said criteria to determine whether a project is to be approved or denied. A building which is allowed by right in this title may be reduced in bulk, height or other physical dimension by requirement of the commission only if found necessary to protect the public health, safety and/or welfare. If a development project is to be built in phases, each phase shall be subject to the design standards and criteria described in this section, and each phase independently shall meet said criteria and standards.

- A. Site Planning:
 1. Buildings shall be situated in a manner that preserves existing land forms, trees and other significant vegetation and shall not interrupt waterways or change other natural drainage patterns in a manner which adversely affects adjacent property. Removal of existing trees of greater than six inch (6") caliper is subject to review.
 2. Buildings shall be sited so that their form does not break prominent natural ridge lines.

3. Buildings and parking areas shall be clustered to provide for more usable open space. All accesses from alleys shall require improvements installed by the applicant/owner when applicable including, but not limited to, an asphalt surface or compacted gravel surface as determined by the City Public Works Department. The applicant/owner shall be responsible for relocation of applicable City services/utilities, repair of any damaged City services, snow plowing and snow removal.
4. The alignment of roads and driveways shall follow the contours of the site, and cuts and fills shall be minimized.
5. Retaining walls shall be discouraged, and such walls over three feet (3') high shall be stepped to form a number of benches to be landscaped.
6. Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.
7. A snow storage plan, as a component of the site plan, is required. The plan shall comply with the following requirements:
 - a. Use of sidewalks and required parking areas for snow storage is prohibited.
 - b. Snow storage within one hundred feet (100') of stream banks is prohibited.
 - c. Use of landscaped areas for snow storage may be allowed under the approved snow storage plan.
 - d. Snow storage areas shall be incorporated in site design as well as designs that anticipate snow shedding areas.
 - e. Snow storage areas shall not adversely affect neighboring properties.
 - f. Building design shall prevent water from dripping or snow from sliding on pedestrian areas, entrances of buildings, garages and adjacent properties.
 - g. Snow storage areas for parking lots containing twenty (20) spaces or more shall be located on site in an amount which is equal to at least one-third (1/3) of the hard surfaces proposed with the project. The one-third (1/3) amount may be reduced by the use of a snowmelt system, or for good cause demonstrated.
 - h. Where snow storage areas cannot be provided on site because of existing buildings or approved building design, an adequate snow hauling plan shall be submitted for and subject to approval by the Planning and Zoning Commission.
The Planning and Zoning Commission may impose such restrictions on snow removal operations as are necessary to reduce the effects of noise or traffic on surrounding areas.
8. Visual impact of on site parking, service, trash and loading areas shall be minimized whenever possible by locating these areas to the rear of the building and providing screening with landscaping or fences from adjacent properties and public ways.
9. Adequate enclosed on site storage for trash shall be provided for each unit of accessory dwelling units, multi-family and townhouses.
10. All utilities shall be installed underground in accordance with the City standards and in a manner and location approved by the City Engineer.
11. Building and parking areas shall be designed to provide proper ingress and egress; safe, adequate and efficient pedestrian and vehicular traffic circulation; and the efficient and safe arrangement of on site parking, building location, and circulation.
12. Multi-family and townhouses shall provide a minimum of two (2) on site parking spaces for each unit. Accessory dwelling unit parking requirements shall be one off street parking space for a one bedroom ADU and two (2) parking spaces for ADUs with two (2) to three (3) bedrooms.

13. Adequate unobstructed access for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project shall be provided.

B. Architecture:

1. Generally:

- a. Building and shopfront design and construction shall reflect historical architecture styles and shall incorporate building materials, architectural design and features representative of that historical period in Bellevue between 1880 and 1910. That architectural style includes frame and brick construction, frame and shiplap siding construction, horizontal log construction, and similar westward expansion motifs. Also, building design and construction shall preserve and incorporate any such existing structures and features, signage, exterior fixtures and other items from that period.
- b. A building exceeding eight thousand five hundred (8,500) square feet of building coverage shall incorporate a change in facade design, materials, color and/or height, or a combination thereof, that such building appears to be more than one building. These changes shall occur at a minimum of every fifty feet (50') of wall facade visible by the general public and at the ceiling line of the first floor on two-story buildings. In addition, the facade shall change in depth a minimum of two feet (2') at each such change in facade.
- c. All buildings in the B Business District shall have a minimum setback from wall/foundation to property line adjacent to Main Street/Highway 75 of three feet (3'), providing an area for covered seating, planters, special event advertising units and displays of merchandise, in addition to the specified requirements of subsection B1b of this section.
- d. All exterior mechanical equipment shall be screened on all sides with materials and colors matching the approved structure.
- e. Mechanical equipment and solar panels shall be hidden or de-emphasized.
- f. Metal siding shall not be permitted on buildings on parcels of real property abutting Main Street (State Highway 75) unless deemed appropriate by the Planning and Zoning Commission. All such buildings shall be constructed of or faced with materials that are similar in texture, finish, and appearance to natural materials. The use of natural materials such as wood, brick and stone shall be encouraged, and exterior wall colors shall be of natural earth tones.
- g. Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.
- h. Accessory dwelling unit sizes shall comply with section 10-2-1 of this title.

2. Multi-Family And Townhouses: Multi-family and townhouses shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and location of the site. Multi-family and townhouse design, style, scale, and aesthetics shall blend with its neighborhood. There shall be no repetitive side by side development of buildings. The City is looking for individual buildings by varying types and styles to make for a pleasant streetscape experience.
3. Accessory Dwelling Units (ADUs): ADUs shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and emulate the primary structure of the site. Design, style, scale, and esthetics shall blend with its neighborhood. Building materials and exterior architectural design shall be

reflective of existing structures on the subject site and take into consideration the architectural style and materials of the general vicinity.

C. Landscaping; Parking; Lighting:

1. Exterior light fixtures and signs shall be nonglaring in design and installation so as not to adversely affect adjacent properties and public ways.
2. The design of fences, walls and retaining walls shall harmonize with the site and buildings in scale as well as in materials.
3. Preservation of significant natural features such as water, view, topography, and vegetation shall be incorporated in the landscape plan.
4. Site conditions, drought tolerance and local hardiness shall be considered to select appropriate plant species, including grasses for lawn areas.
5. Landscaping shall provide a substantial buffer between incompatible land uses and shall be used to screen from view and to mitigate visual impact of parking areas, loading areas, and garbage containers from adjacent properties and public ways.
6. Installation of adequate drip or other low consumption irrigation systems shall be required. Landscaping shall be properly irrigated and maintained, and landscaping, or any portion thereof, shall be replaced when it dies or is otherwise destroyed.
7. Adequate drainage shall be provided on site.
8. A minimum of ten percent (10%) of the parking area of parking lots with twenty (20) spaces or more shall be landscaped with islands, dividers, or a combination of the two. Parking lots with twenty (20) spaces or more will have a minimum of fifty percent (50%) of the required landscaped area installed adjacent to Main Street/Highway 75 unless otherwise approved by the commission due to extensive curb cuts and vision safety concerns.
9. All public rights-of-way adjacent to subject property including alleys shall be improved with, but not limited to, asphalt/concrete/compacted gravel, and applicable curbing, gutter, drainage, ADA standards, lighting, sidewalks and striping as recommended by the Public Works Director.

D. Curbs, Gutters, Sidewalks And Street Tree Requirements: Within the B Business, LB/R Limited Business/Residential, LI/B Light Industrial/Mixed Business and LI Light Industrial Zoning Districts, curbs, gutters, sidewalks and street trees are required and shall be installed along the street frontage of each lot or parcel of real property upon which a new building or a "major addition" (defined as requiring a building permit and having a cost of construction exceeding \$50,000.00) is constructed. Such improvements shall be constructed in accordance with the applicable construction standards and ordinances of the City.



City of Bellevue

115 E Pine Street
 P. O. Box 825 Bellevue, ID 83313
 208-788-2128 Fax 208-788-2092

Design Review Application

Applicant Information			
Business / Project Name: KMAM Real Estate / Malone Ford - Shipping Containers			
Owner / Applicant Name: KMAM Real Estate / David Hicks			
Phone #: 801-755-8334	Fax #:	email: dhicks@gomalone.com	
Service Location:			
Mailing Address: 11453 S Lone Peak Pkwy, Draper, UT			
Property Physical Address: 811 N Main Street			
Property Legal Description: KMAM Lot 2A BLK 1			
Business Type: <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Corporation <input checked="" type="checkbox"/> Limited Liability <input type="checkbox"/> Partnership <input type="checkbox"/> Other			
Current Zoning: <input checked="" type="checkbox"/> Business <input type="checkbox"/> Limited Business/Res <input type="checkbox"/> Light Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Transitional			
Project Description			
Business / Project Description: Place 2 shipping containers on site, screened behind existing building and proposed fence.			
Structure Design: <input type="checkbox"/> Stick Built <input type="checkbox"/> Modular <input type="checkbox"/> Manufactured/ Mobile (HUD) <input checked="" type="checkbox"/> Container			
Existing Sq Ft: 30,875	New Sq Ft: 1,280	Total Sq. Ft: 32,155	Lot Sq Ft: 317,109
Living Quarters Included? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes , please describe: _____			
Parking Requirements: (See City Code- Zoning Regulations Title 10) <u>N/A</u>			
Acknowledgement			
<p>*This application is due no less than 15 days prior to the next regularly scheduled meeting date of the Bellevue Planning & Zoning Commission with all of the required material itemized in Chapter 19, Design Review, and Bellevue City Ordinance 86-03.</p> <p>*Design Review Application Fees: Non-Residential = Base fee \$400.00 + \$25.00 per each 1,000 square feet of gross floor area Residential = \$Base fee \$200.00 1-6 unites. 7+ unites an additional \$25.00 per unit will be charged.</p> <p>*ALL LEGAL, ENGINEERING AND OTHER CONSULTANT FEES SHALL BE REIMBURSED AT 100%</p>			
Applicant's Signature: _____		Date: <u>1/19/2025</u>	
Official Use Only			
Date Received: _____ Check #: _____ CD Director Signature: _____			

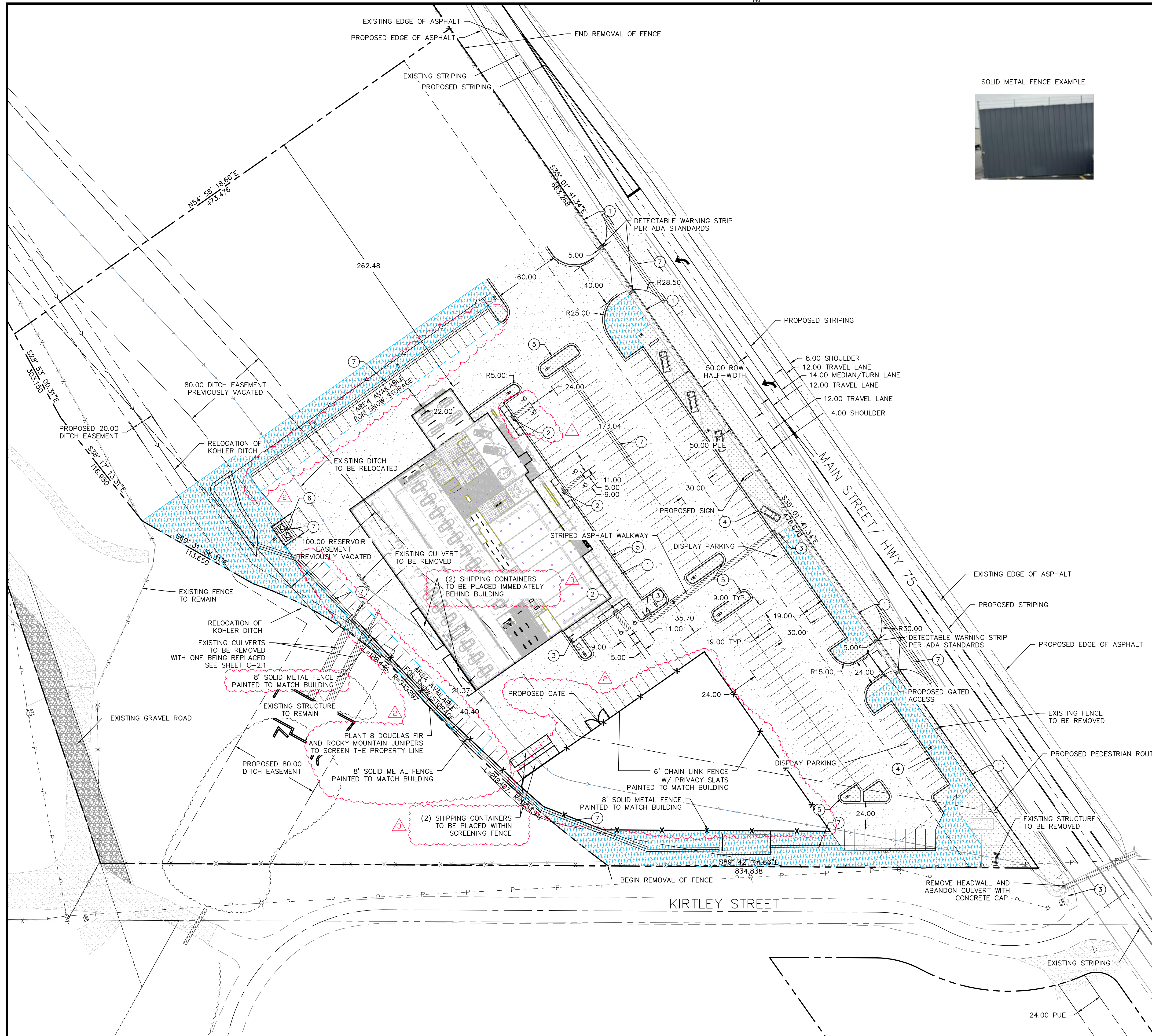


DESIGN REVIEW APPLICATION PROCEDURES

CITY OF BELLEVUE- COMMUNITY DEVELOPMENT DEPARTMENT
115 East Pine Street/ P.O. Box 825/ Bellevue, ID 83313
Telephone: (208) 788-2128 ext. 8

The following materials and information together with the application form and fees shall constitute a complete application for design review and shall be filed by the applicant prior to consideration of the application by the Commission.

- 1) Site map of the property upon which the proposed construction is to occur shall be submitted in sufficient detail to show the following:**
 - a) Exterior boundary lines of the property together with dimensions;
 - b) Location of proposed and existing structures with dimensions thereof showing the setback of each structure from the nearest property line;
 - c) Location of on-site parking spaces, ADA accessible spaces, loading zones and access thereto, including the dimensions of the spaces and the width and length of access;
 - d) Location and dimensions of snow storage areas;
 - e) Location of dumpster and/or garbage can storage areas including the dimensions and proposed fencing or other screening;
 - f) Designation of the zoning district in which the project is located;
 - g) Location of vehicular and pedestrian circulation patterns, easements and proposed improvements with regard thereto;
 - h) Contour lines of five (5) foot intervals to show proposed slope and topography of the property;
 - i) Location of existing and proposed adjacent street rights-of-way, fire hydrants, sewer lines, water lines and other utilities, and plans for the separate connection to and extension of each utility to each unit or building;
 - j) Indication of direction of snow slide from roof and drip line of all buildings
 - k) Location of existing structures on adjacent properties;
 - l) Location of onsite trash and personal property storage.
 - m) (1) one large and (7) seven reduced vicinity maps depicting adjacent streets, flood plains, applicable zoning and comprehensive land use designations.
- 2) Preliminary Schematic Drawings of the proposed construction shall be submitted to show the following:**
 - a) Floor plan at not less than one-eighth (1/8) scale;
 - b) (7) seven reduced exterior elevations with facades and other exterior elements shown in color;
 - c) Type and color of exterior materials and roofing with samples thereof;
 - d) Location and type of exterior lighting;
 - e) A colored model shall be submitted for all new buildings not including additions or buildings less than 3,000 sq. ft.
- 3) Landscape Plan and legend shall be submitted in sufficient detail to show the following:**
 - a) (1) one large and (7) seven proposed landscape plans of the project including calculations depicting percentage of land area being landscaped, types and size of trees, ground cover and other vegetation;
 - b) Proposed excavation or land fill including resulting slope grades;
 - c) Location and height of walls or fences;
 - d) Drip or other low consumption irrigation system for landscaping;
 - e) Drainage plan including off-site improvements.
 - f) Street trees shall be a minimum of 3" caliper and planted at spacing not less than one tree for every 35' of public street right-of-way, excluding alleys. All trees shall comply with the Bellevue Street Tree guidelines and obtain an approved encroachment permit from ITD or City of Bellevue.



LOT LINES (PROPERTY)

EXISTING CURB AND GUTTER

PROPOSED CURB AND GUTTER

SETBACK LINE

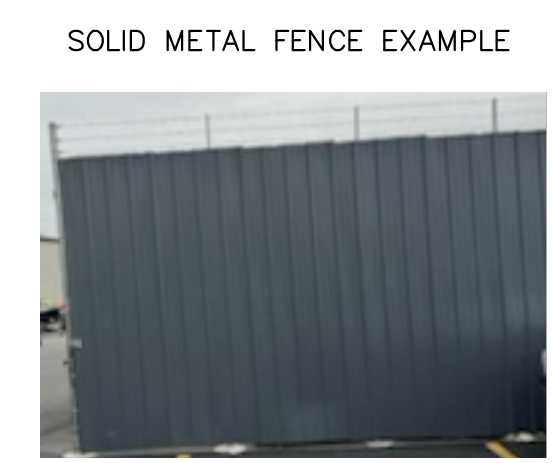
EXISTING FENCE

LANDSCAPE AREA

CONCRETE AREA

PROPOSED ASPHALT AREA

SNOW STORAGE AREA



SITE DATA

LOT AREA:	317,109 SF (7.28 ACRES)
DEVELOPED AREA:	220,939 SF (5.07 ACRES)
BUILDING AREA:	30,875 SF± 14.0%
PAVEMENT AREA:	123,504 SF± 55.9%
LANDSCAPE AREA:	38,530 SF± 17.4%
FUTURE EXPANSION AREA:	28,030 SF± 12.7%
SNOW STORAGE (PRIOR):	40,800 SF±
SNOW STORAGE (CURRENT):	31,608 SF±
ADDITIONAL STORAGE:	9,200 SF±

BUILDING DATA

ZONE: B (BUSINESS ZONE)

- SITE DESIGN NOTES:**
- PROPOSED SIDEWALK PER ISPCW SD-709.
 - INSTALL PEDESTRIAN RAMP PER ISPCW SD-712G AND ADA STALL. ALL ADA STALLS AND PEDESTRIAN RAMPS TO BE INSTALLED PER ADA STANDARDS. SEE C-4 FOR DETAIL.
 - INSTALL PEDESTRIAN RAMP PER ISPCW SD-712C. ALL ADA STALLS AND PEDESTRIAN RAMPS TO BE INSTALLED PER ADA STANDARDS. SEE C-4 FOR DETAIL.
 - PROPOSED CURB & GUTTER TYPE III PER ISPCW SD-701.
 - PROPOSED REVERSE PAN CURB AND GUTTER PER DETAIL 1.
 - PROPOSED DUMPSTER LOCATION.
 - CONCRETE VALLEY GUTTER PER ISPCW SD-708.

- GENERAL NOTES:**
- CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
 - ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
 - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER ISPCW AND CITY STANDARDS. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
 - SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 - ALL WORK SHALL BE ACCORDING TO ISPCW AND CITY STANDARDS.

1" = 40'
Scale in Feet

NO.	REVISIONS	BY	DATE
1	CITY COMMENTS	CJ	8/15/24
2	OWNER CHANGE	CJ	11/6/23
3	CONTAINER PERMIT	CJ	12/27/23

ENGINEER: LR
CHECKED BY: CJ



**KARL MALONE FORD + POWERSPORTS STORE
SITE PLAN**
11948 STATE HIGHWAY 75, BELLEVUE, ID 83818

SHEET: **C-1**
DATE: 1/20/2026



February 10, 2026

City of Bellevue
Planning & Zoning Commission

Exterior Elevations

This item does not apply to this project because no buildings are proposed with the placement of the 4 shipping containers. The existing Ford and Powersports Store will remain as is with this project.

Thank you for the opportunity to submit this application. We look forward to working with you on this development.

Cal Johnson
Legend Engineering
cal@legendengineering.com
(435) 654-4828





February 10, 2026

City of Bellevue
Planning & Zoning Commission

Floor Plan

This item does not apply to this project because no buildings are proposed with the placement of the 4 shipping containers. The existing Ford and Powersports Store will remain as is with this project.

Thank you for the opportunity to submit this application. We look forward to working with you on this development.

Cal Johnson
Legend Engineering
cal@legendengineering.com
(435) 654-4828





February 10, 2026

City of Bellevue
Planning & Zoning Commission

Landscape and Irrigation Plans

This item does not apply to this project as all existing landscaping and irrigation systems will remain from the original development and will not be affected by the placement of the 4 shipping containers.

Thank you for the opportunity to submit this application. We look forward to working with you on this development.

Cal Johnson
Legend Engineering
cal@legendengineering.com
(435) 654-4828





February 10, 2026

City of Bellevue
Planning & Zoning Commission

Lighting Plan

This item does not apply to this project as there are no changes to or obstructions to lighting with the proposed placement of the 4 shipping containers.

Thank you for the opportunity to submit this application. We look forward to working with you on this development.

Cal Johnson
Legend Engineering
cal@legendengineering.com
(435) 654-4828





February 10, 2026

City of Bellevue
Planning & Zoning Commission

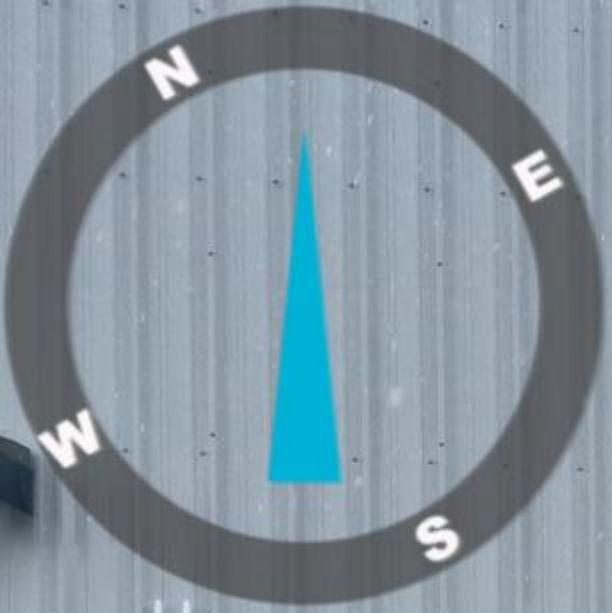
KMAM Real Estate proposes placing 4 shipping containers at the Ford and Powersports store located at 811 N Main Street. The proposed development includes the placement of the shipping containers and a screening fence to screen the containers from the neighbors to the rear of the property. A fence permit has been submitted to the city for approval of the screening fence. No other changes to hardscapes, landscaping, utilities, or lighting are proposed with this project. The site is to remain as approved by the City of Bellevue apart from the placement of the shipping containers and screening fence.

This project is in conformance with 10-17-5: Design Review Standards and Criteria. The concepts of Site Planning, Architecture, Landscaping; Parking; Lighting, and adequate public improvements have all been met by the previous development of the Ford and Powersports Store. This project will not impact the existing snow storage areas, and the site will maintain adequate parking stalls. Traffic patterns will not be affected by the proposed installation.

Thank you for the opportunity to submit this application. We look forward to continue working with the City of Bellevue on this development.

Cal Johnson
Legend Engineering
cal@legendengineering.com
(435) 654-4828

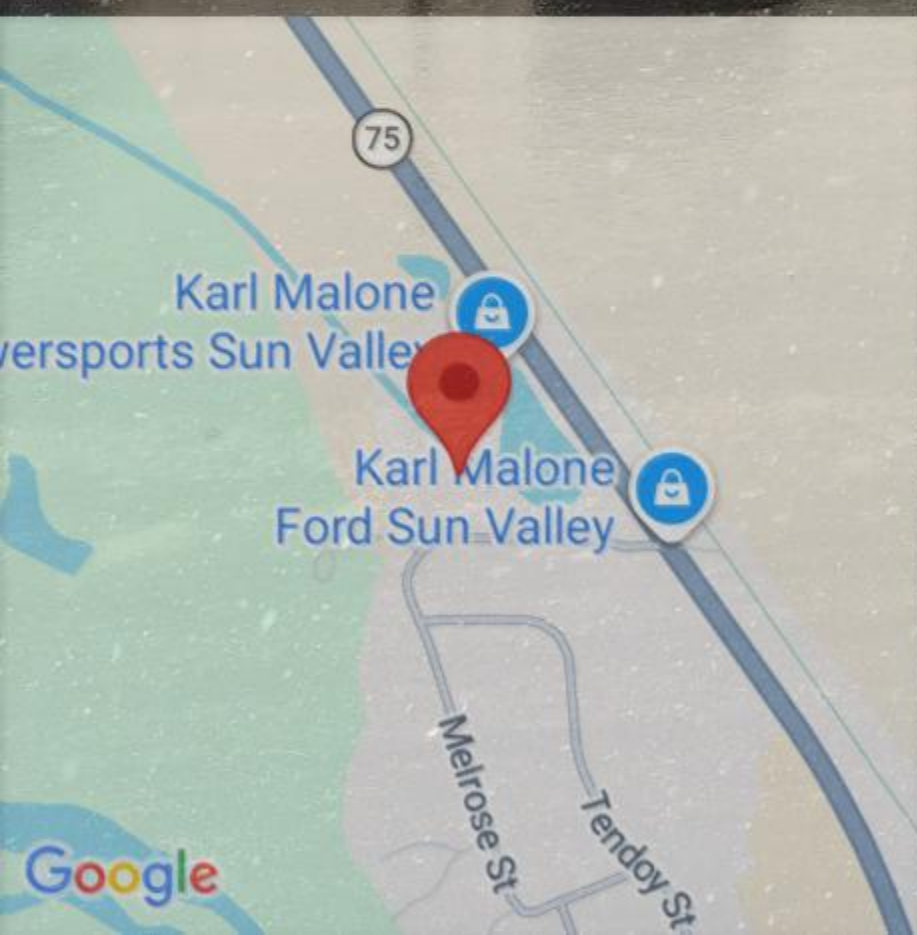




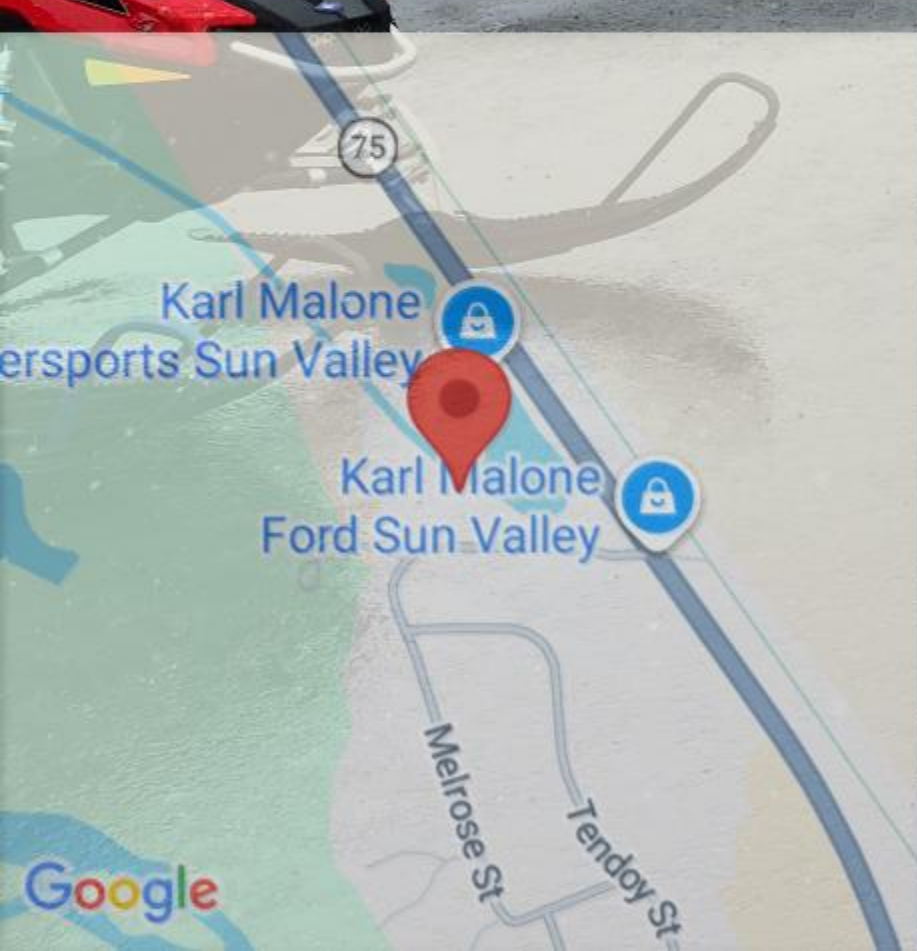
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 Bellevue
 Blaine County
 Idaho



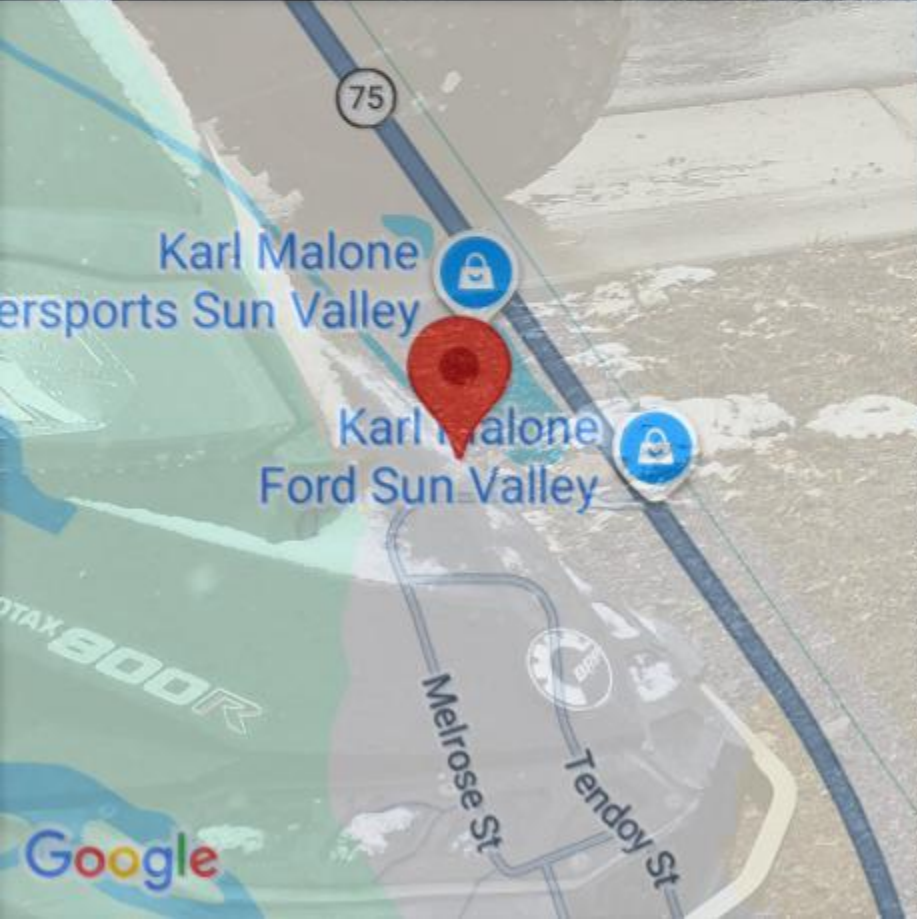
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Idaho



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411 Tendoy Street
Bellevue
Blaine County
Idaho



Feb 24, 2026 10:19:37

43.4774N 114.2702W

84° E

411 Tendoy Street

Bellevue

Blaine County

Idaho



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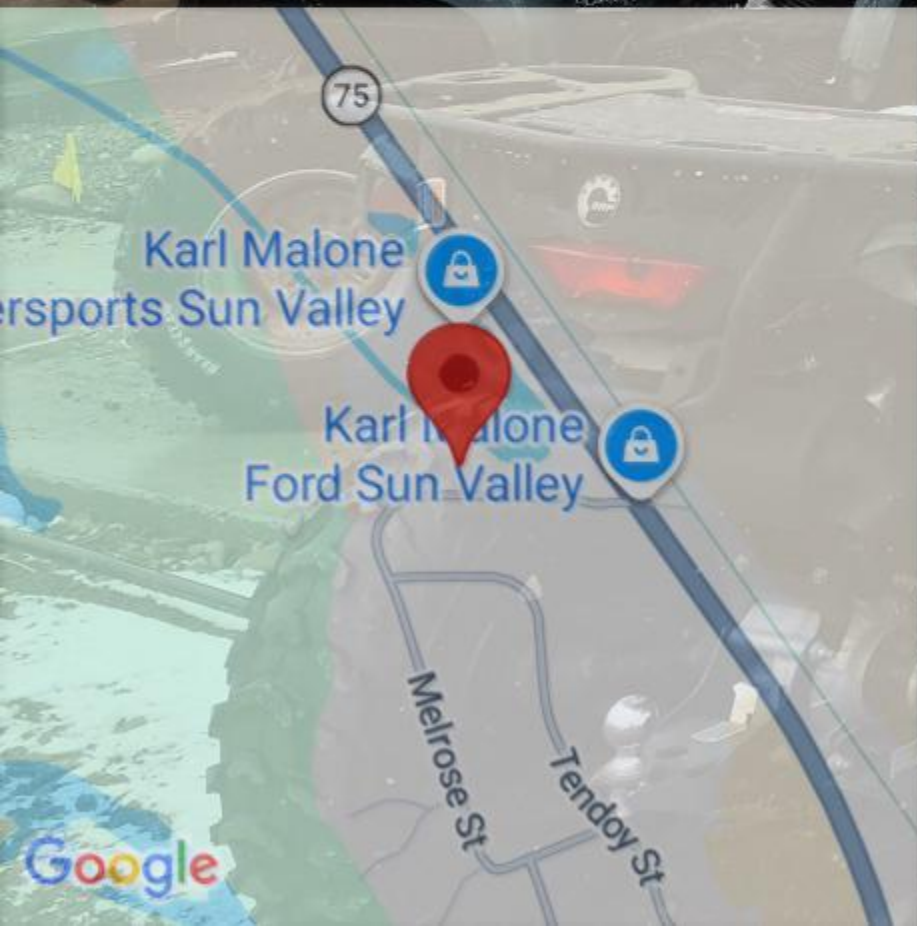
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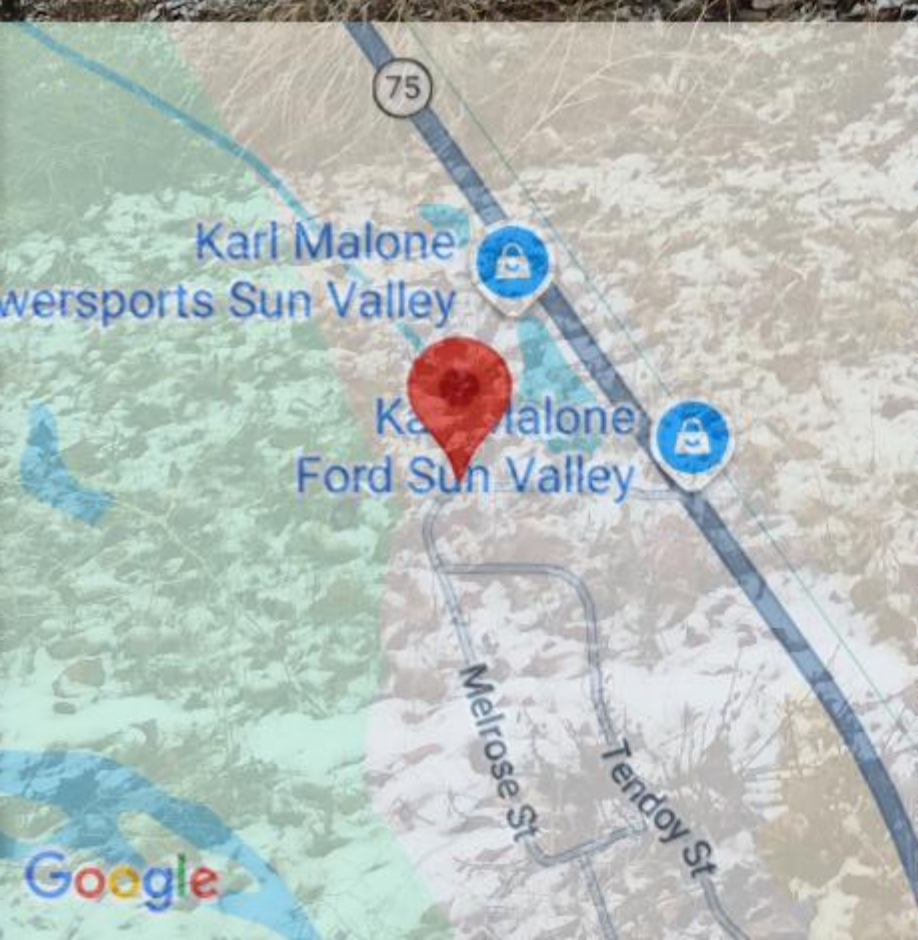
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Bellevue

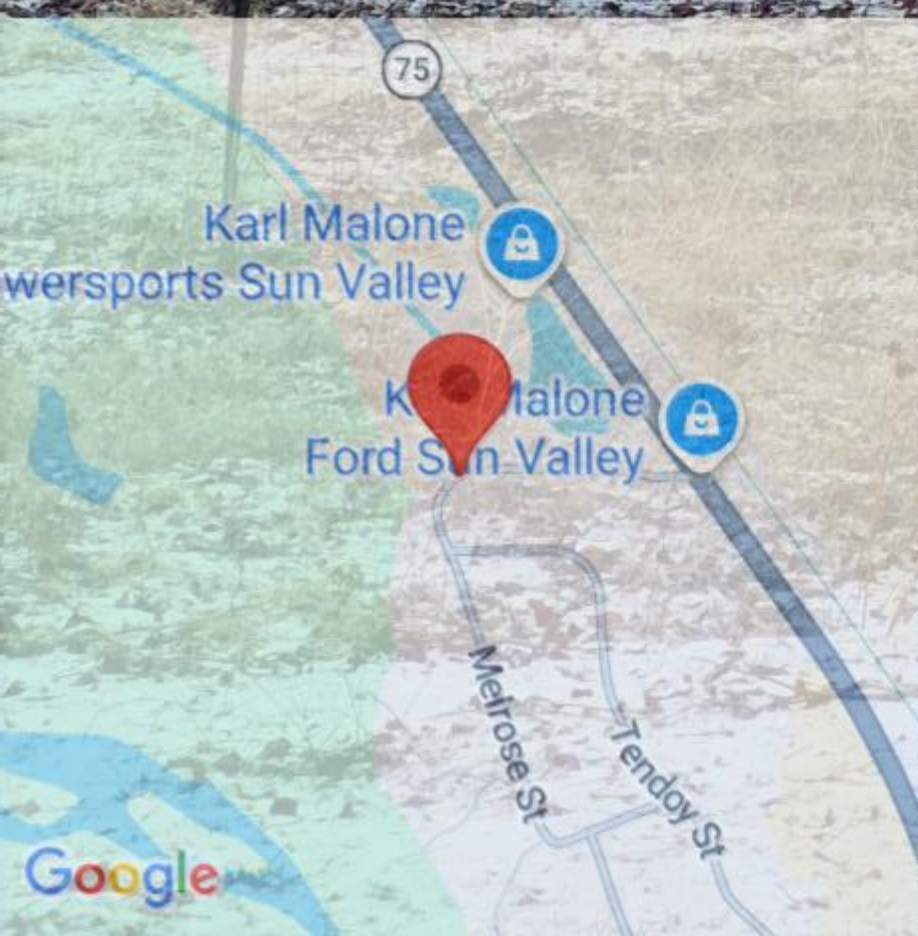
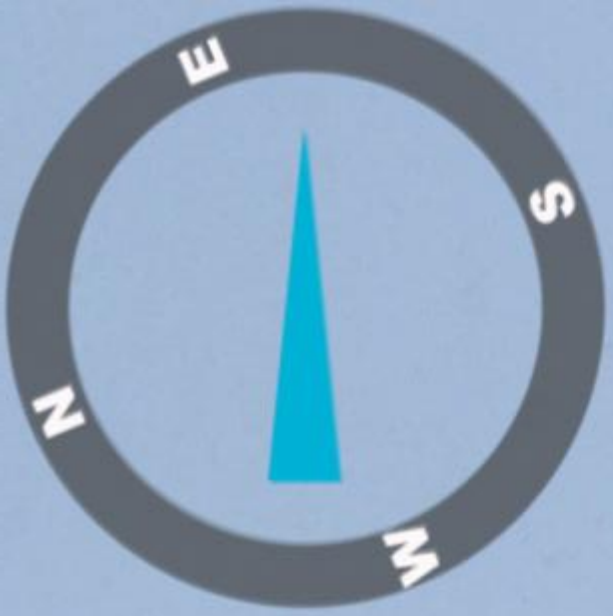
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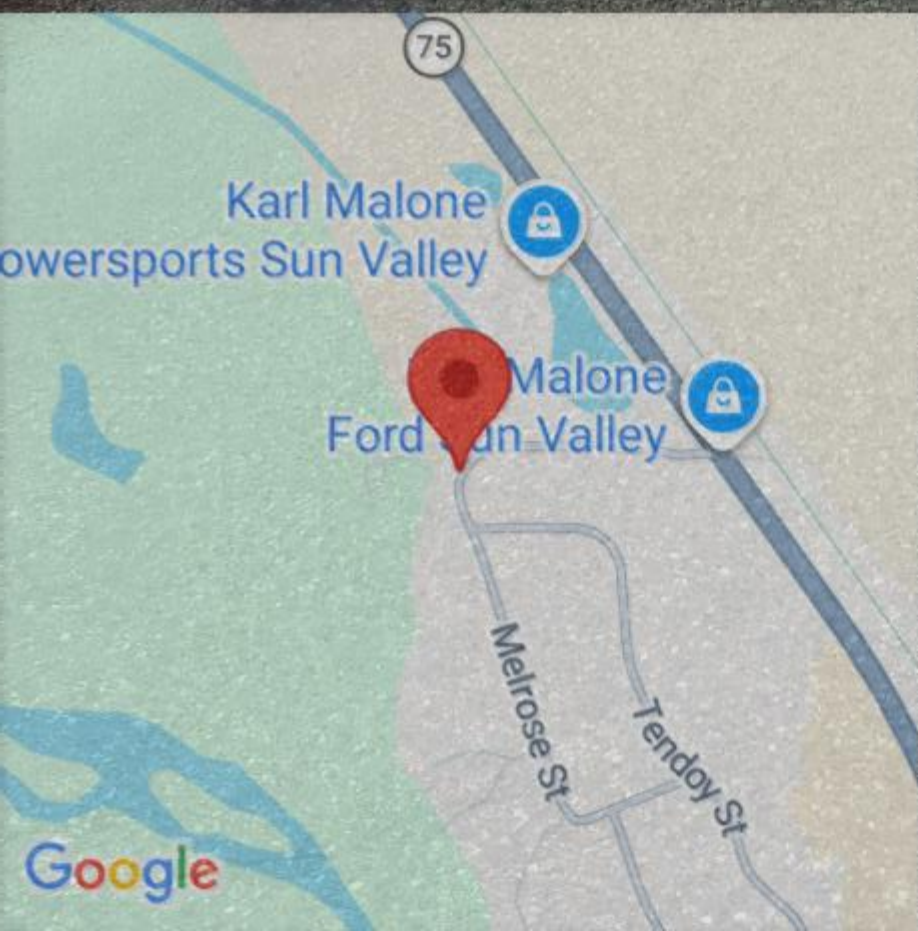


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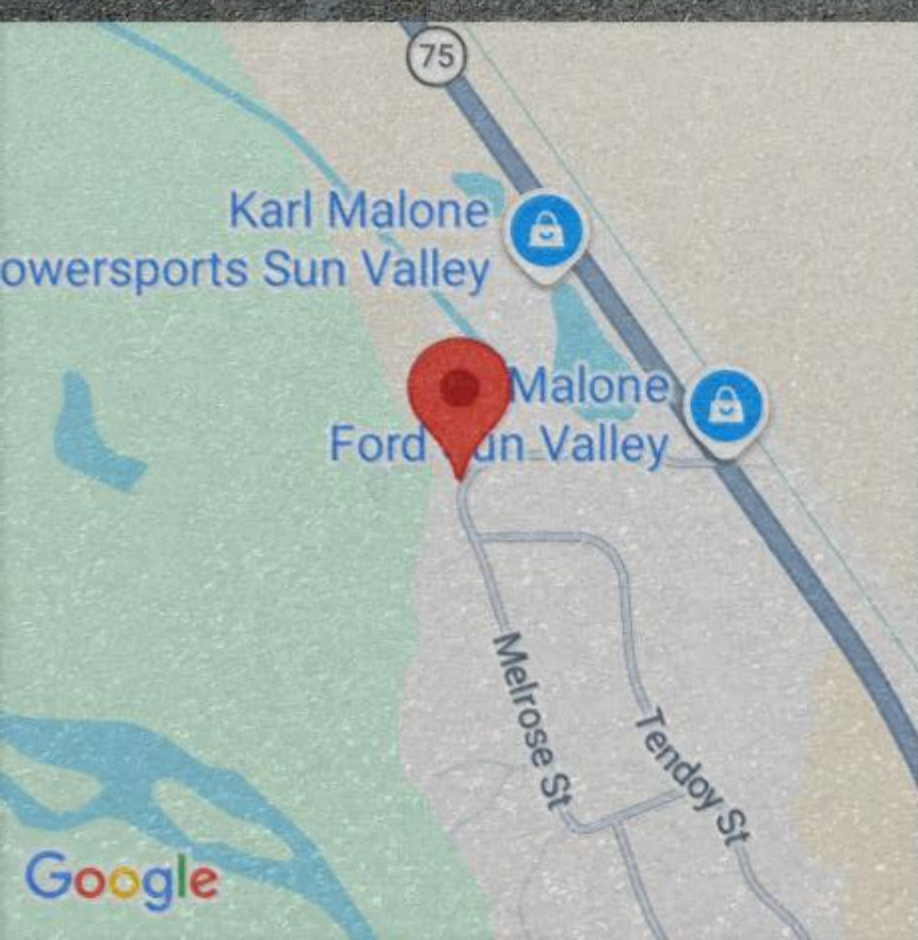
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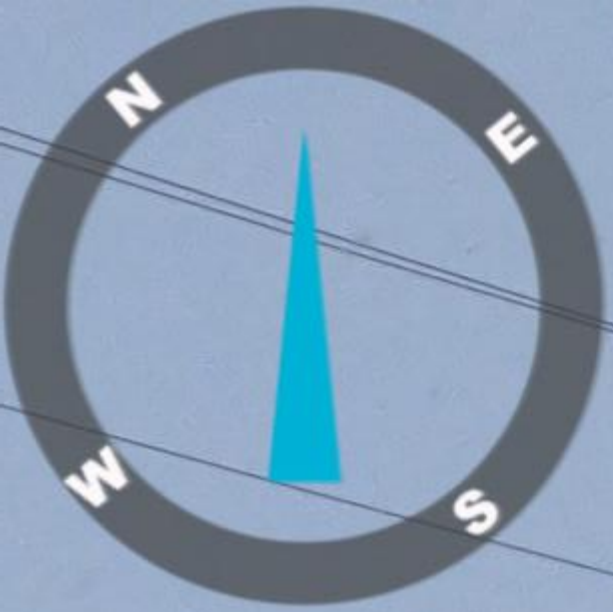
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Bellevue
Blaine County
Idaho



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421 Tendoy Street
Bellevue
Blaine County
Idaho



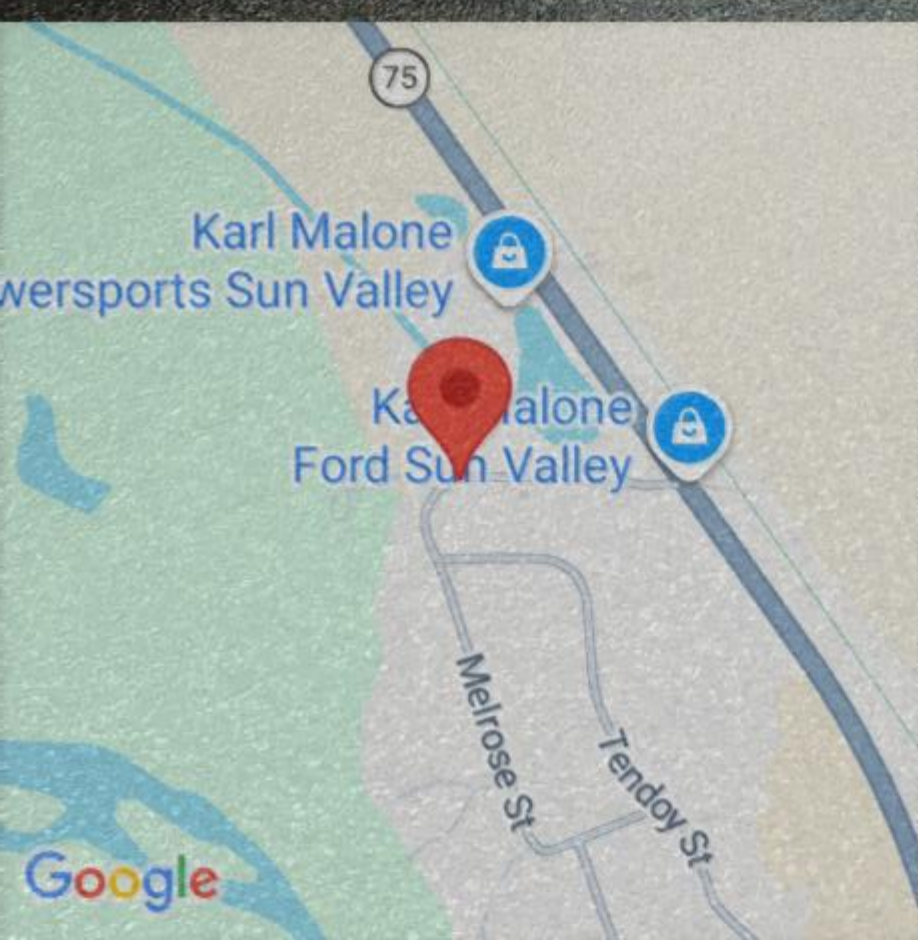
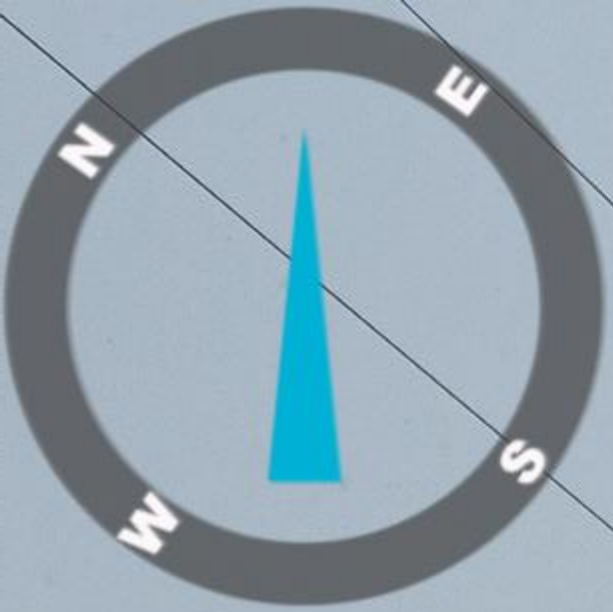
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Bellevue
Blaine County
Idaho



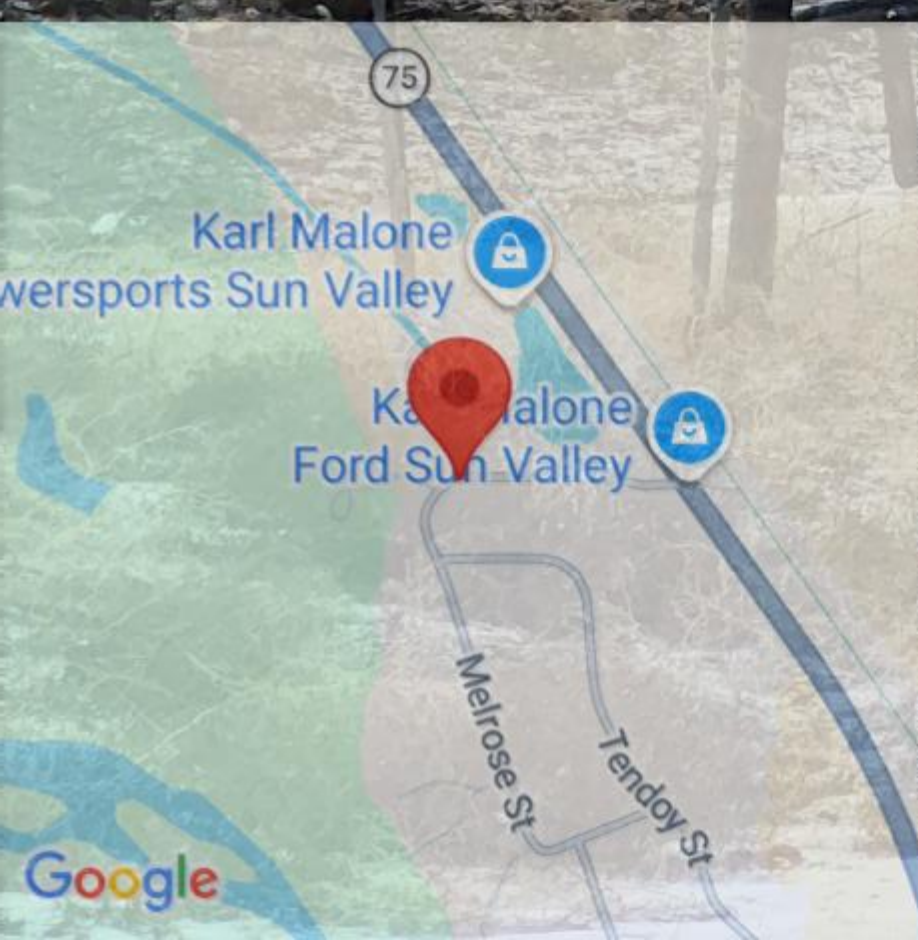
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Idaho

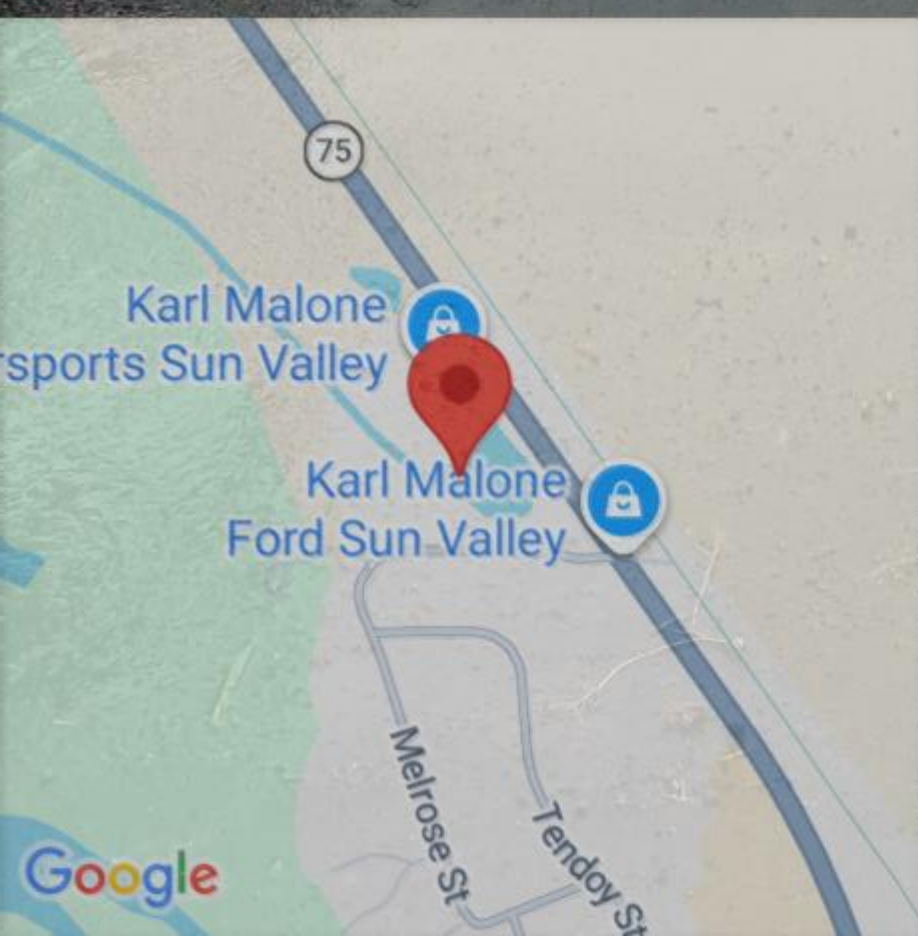


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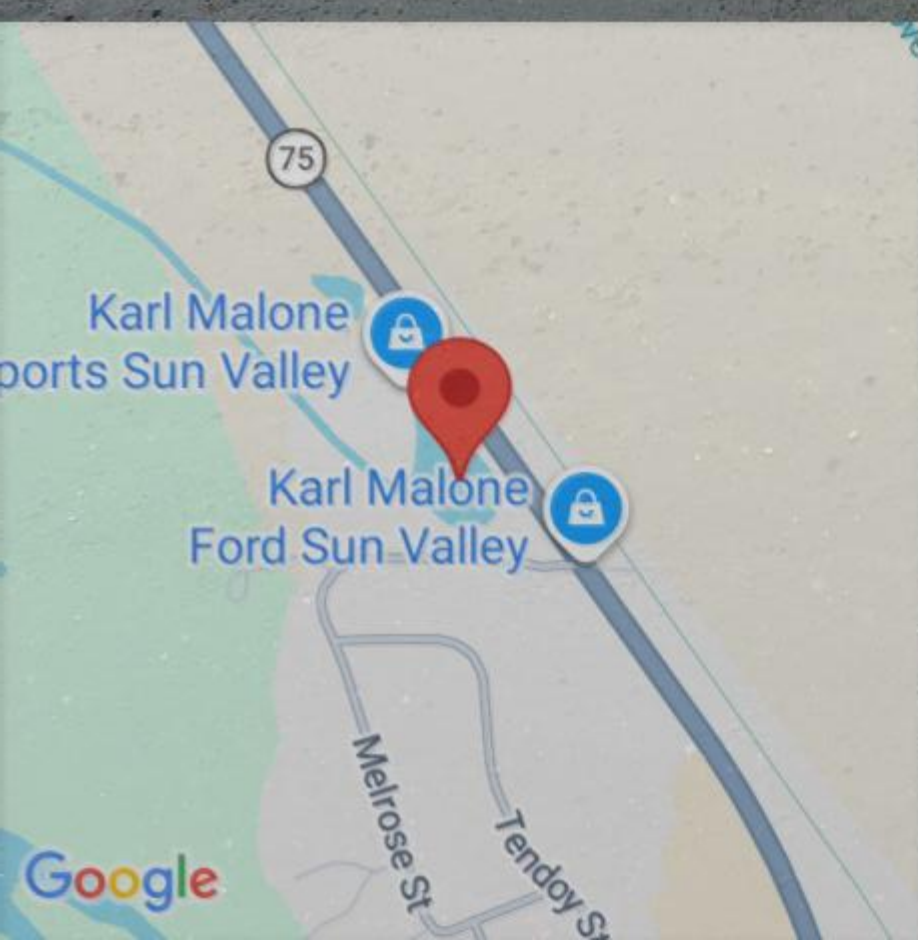
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Blaine County
Idaho



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 Idaho



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811 North Main Street
Bellevue
Blaine County
Idaho



Feb 24, 2026 10:31:21
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 214° SW
 811 North Main Street
 Bellevue
 Blaine County
 Idaho

From:

Subject:

Archived: Thursday, February 26, 2026 2:09:05 PM

As a resident of Bellevue living in the Chantrelle subdivision since 1999, we would like to state our concerns about some of the issues our neighborhood is facing with the Karl Malone dealership.

1- There continues to be garbage along the hillside on Kirtley below the car lot. We clean up along that road on a pretty regular basis and have collected garbage that is obviously coming from the dealership. Their one time clean up effort months ago is inadequate.

There is also quite a bit of construction garbage directly across Hwy 75 from the car lot that they should be responsible for cleaning up.

It is a blight on our community.

2- The shipping containers that are being used for storage will still be partially visible even after a solid 8' fence is built. If the containers were painted the same color as the building and there is nothing piled on top, this could be an affordable workable solution.

3- We would like to be assured that all of the back stock, inventory, materials, and refuse be completely behind and below the level of the fence.

4- As we understand it, the security bond that was paid by Karl Malone Ford is to insure that the fence and landscaping be completed by July 1, 2026 and if KM Ford defaults then the City of Bellevue will complete the project.

It is doubtful that \$24666 will be adequate to cover the cost of materials and installation of hundreds of feet of fencing and the completion of the landscaping.

We ask that the city seriously consider these concerns and provide assurance that the dealership intends to fulfill their obligations, have respect for our neighborhood and take full responsibility for finishing the project themselves.

We do appreciate that the lighting situation has been addressed. Thank you for facilitating that.

Respectfully,

Carol Van Bramer

Todd Van Bramer

320 Tendoy Street

PO Box 685

Bellevue

208.720.6324

Sent from my iPhone

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Memorandum

To: Bellevue Common Council

From: Brian Parker, Community Development Director

Re: Development Impact Fee Review

Date: June 8, 2026

Background

In accordance with Idaho Statute 67-8205(2)(b), the Bellevue Planning & Zoning Commission (Commission) acts as the Bellevue Development Impact Fee Advisory Committee (DIF Advisory Committee). Bellevue City Code Section 9-5-14-04 requires the DIF Advisory Committee to provide recommendations to the Bellevue Common Council at least once every twelve (12) months with the intention “to ensure that the benefits to a development paying development impact fees are equitable, in that the fee charged to the development shall not exceed a proportionate share of system improvements costs, and that the procedures for administering development impact fees remain efficient.”

The Commission reviewed the City’s development impact fee program and ordinance at their February 2, 2026 and February 17, 2026 regularly scheduled meetings. The Commission’s findings and recommendations can be found in the recommendations section of this memorandum.

Procedure

Because the Commission found that the development impact fee schedule should be increased by nine percent (9%), Idaho Statute 67-8206(3) requires that the Council conducts a public hearing to adopt the amended fee schedule. Notice of the public hearing was published in the *Idaho Mountain Express* on May 20, 2026.

Recommendations

At their regularly scheduled February 17, 2026 meeting, the Commission made the following findings and recommendations:

Are Current Development Impact Fees Equitable?

As the Development Impact Fee Schedule is based on the anticipated occupancy and impacts of a new development, the structure inherently encourages equitable apportionment of impact fees. No appeals of impact fees administered have been filed to date.

Are Current Development Impact Fees Exceeding the Proportionate Share of System Improvement Costs?

As the impact fees collected to date have only yielded approximately 10% of the total Capital Improvement Plan costs anticipated to be collected, it seems challenging to assert that the fees are exceeding the cost of improvements. To account for inflation since 2022, the Commission recommends increasing the fee schedule by 9%. The amended fee schedule would be as follows:

Residential

Housing Unit Size	Under 1,000 SF	1,001 - 1,600 SF	1,601 - 2,200 SF	2,201 - 2,800 SF	2,801 or more SF
Administration	\$82.13	\$164.26	\$205.33	\$225.86	\$246.39
Buildings/Grounds	\$178.02	\$356.03	\$445.04	\$489.54	\$534.05
Community Development	\$200.55	\$401.11	\$501.39	\$551.53	\$601.66
Fire Services	\$338.67	\$677.35	\$846.68	\$931.35	\$1,016.01
Library	\$10.97	\$21.93	\$27.41	\$30.15	\$32.90
Marshal	\$3.59	\$7.16	\$8.95	\$9.85	\$10.75
Parks	\$32.85	\$65.71	\$82.13	\$90.35	\$98.56
Streets	\$143.03	\$286.06	\$357.59	\$393.34	\$429.10
Total Impact Fee/Unit	\$989.81	\$1,979.60	\$2,474.52	\$2,721.97	\$2,969.41

Commercial

DIF per 1,000 SF	Business/Retail	Light Industrial	Office
Administration	\$54.35	\$45.38	\$90.49
Buildings/Grounds	\$117.80	\$98.36	\$196.12
Community Development	\$132.71	\$110.81	\$220.95
Fire Services	\$47.30	\$39.49	\$78.75
Library	\$7.26	\$6.06	\$12.08

Marshal	\$2.37	\$1.98	\$3.95
Parks	\$21.73	\$18.15	\$36.20
Streets	\$652.75	\$545.04	\$1,086.83
Total Impact Fee/per 1,000 SF	\$1,036.25	\$865.27	\$1,725.37

Are Current Development Impact Fees Efficiently Administered?

Impact fee collection is easily administered at the time of building permit, and will be further automated through the City's transition to online application submittals. As the 2022 Capital Improvement Plan is now four (4) years old, the Commission recommends initiating an update to the Capital Improvement Plan as soon as funds can be made available.

Enclosures

- 1) Ordinance 2023-02

**CITY OF BELLEVUE
ORDINANCE NO. 2023-02**

ORIGINAL

AN ORDINANCE OF THE CITY OF BELLEVUE, IDAHO AMENDING BELLEVUE'S CITY CODE BY AMENDING TITLE 9-5, DEVELOPMENT IMPACT FEE SCHEDULE, PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE.

WHEREAS, Idaho Code §67-8201 et allows Idaho municipal corporations to enact ordinances allowing cities to collect development impact fees;

WHEREAS, Bellevue retained Richard Caplan and Associates to update Bellevue's development impact fees;

WHEREAS, Richard Caplan and Associates submitted a study for Development Impact Fees dated November 30, 2022;

WHEREAS, Bellevue has adopted this development impact fee ordinance in accordance with the procedural requirements of Idaho Code § 67-8206.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, IDAHO, AS FOLLOWS:

SECTION 1. Establishes a revised Development Impact Fee Schedule

SECTION 2. The Fee Schedule attached hereto as Exhibit "A" depicts the amended. Development Impact Fees and is hereby amended as shown in Exhibit "A".

SECTION 3. Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

SECTION 4. All Ordinances or parts thereof in conflict herewith are hereby repealed and rescinded.

SECTION 5. This Ordinance shall be in full force and effect from and after its passage, approval, and publication according to law.

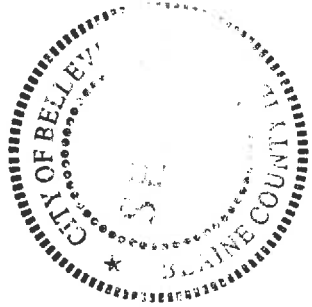
PASSED

PASSED AND ADOPTED BY THE COMMON COUNCIL AND APPROVED BY THE MAYOR OF THE CITY OF BELLEVUE THIS 8th day of May 2023.


Kathryn Goldman, Mayor

ATTEST:


City Clerk



**CITY OF BELLEVUE, IDAHO
DEVELOPMENT IMPACT FEE
UPDATE**

NOVEMBER 30, 2022

RICHARD CAPLAN & ASSOCIATES

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Appendix: FY 2022 – 2027 Capital Improvements Plan

I. Introduction

Richard Caplan & Associates (RCA) was engaged by the City of Bellevue to update the 2020 development impact fees schedule. Impact fees are one-time payments by new development for growth-related infrastructure. Impact fees are intended to fund a portion of the system improvements that benefit the entire service area by increasing infrastructure capacity.

The FY 2022-2027 Bellevue CIP requirements are summarized in this study, with descriptions of these projects available from the city staff responsible for each type of infrastructure. The 2022 – 2027 Bellevue Capital Improvements Plan (CIP) was recommended by the Bellevue Planning & Zoning Commission on August 11, 2020, and amended and the adopted by the Bellevue City Council on September 28, 2020 and adopted budget for fiscal year 2022- 2023.

II. Executive Summary

As a result of this update, it is recommended that the base residential impact fee be increased from \$2,270 enacted by the City of Bellevue in 2020 to \$2,543, or an increase of 12% and revise the following development impact fee schedule as follows:

Type of Development	Residential	Retail	Office	Light Industrial
2020 ADOPTED IMPACT FEE	\$2,270	\$951	\$1,583	\$382
PROPOSED 2023 IMPACT FEE	\$2,543 (1,601-2,200 SF unit) Per average unit (a)	\$1,027 Per 1,000 square feet	\$1,705 Per 1,000 square feet	\$855 Per 1,000 square feet

(a) Residential fee will be based on the size of the unit as follows:

- Under 1,000 SF = 1 person per unit
- 1,001 to 1,600 SF = 2 persons per unit
- 1,601 to 2,200 SF = 2.5 persons per unit
- 2,201 to 2,800 SF = 2.75 persons per unit
- 2,801 SF or more = 3 persons per unit.

Table A
Proposed Residential Development Impact Fee by Unit Size (in Square Feet)

Housing Unit Size	Under 1,000 SF	1,001 to 1,600 SF	1,601 to 2,200 SF	2,201 to 2,800 SF	2,801 SF or more
TOTAL IMPACT FEE/UNIT	\$1,017	\$2,034	\$2,543	\$2,797	\$3,052

Details of the methodology for these fees and the components of determining these amounts are described in detail in this study.

Bellevue Capital Improvements Plan 2023 - 2042

The FY 2020 – 2040 capital improvements plan has been updated to reflect actual capital expenditures in the past fiscal year and the current adopted budget for fiscal year 2022 – 2023. This plan, along with the city’s actual capital expenditures since FY 2018, guided the financial amounts in the city’s capital improvements through 2042. (See Table A – “FY 2022–2042 Capital Improvements Plan”). Therefore, for fiscal years 2027 through 2042, a combination of past city capital expenditures and the adopted FY 2022 – 2027 capital improvements plan have been used, except where noted.

Major water and sewer projects are included in the city’s capital improvement plan. However, these projects are not eligible for inclusion in a development impact fee since these utilities are funded by monthly service charges, and capital funding is a part of water and sewer connection fees.

Table B

FY 2023 – 2042 Capital Improvements Expenditures and Proposed Projects

Service Area	Actual 2017- 2022	Adopted 2023- 2027	Projected 2028 - 2032	Projected 2032 - 2037	Projected 2038 - 2042	2023- 2042 Total
Administration (a)	\$0	\$105,000	\$110,000	\$110,000	\$105,000	\$430,000
Building & Grounds (b)	\$19,750	\$609,625	\$101,600	\$101,600	\$101,600	\$914,425
Community Development (b)	\$0	\$262,500	\$262,500	\$262,500	\$262,500	\$1,050,000
Fire (c)	\$273,512	\$461,584	\$367,000	\$367,000	\$367,000	\$1,562,584
Library (b)	\$15,309	\$52,500	\$34,000	\$34,000	\$34,000	\$154,500
Marshal (d)	\$5,000	\$110,000	\$110,000	\$110,000	\$110,000	\$440,000
Parks	\$17,000	\$47,000	\$47,000	\$47,000	\$47,000	\$188,000
Streets	\$460,200	\$361,200	\$541,500	\$541,500	\$541,500	\$1,985,700
Total (e)	\$790,771	\$2,009,409	\$1,573,600	\$1,573,600	\$1,568,600	\$6,725,209

(a) Includes \$5,000 eligible professional services to update the DIF every three years.

(b) FY 2028-2042 are based on FY 2017-2022 annual average.

(c) \$500,000 fire department includes a one-time only improvement during FY 2022-2027.

(d) Includes 2 new vehicles every five years; does not include new building estimated at \$2 million.

(e) Excludes water and sewer capital projects.

To determine these fees, RCA determined the number of service units associated for each type of capital improvement and calculated the proportionate share factors to allocate costs by type of development. This report includes the formulas and variables used to calculate the development impact fees. The method for calculating development impact fees involves two main steps:

- (1) determining the cost of development-related capital improvements; and
- (2) allocating those costs equitably to various types of development.

City of Bellevue, ID Development Impact Fee Update

Note: The calculation of impact fees can become quite complicated because of the many variables involved in defining the relationship between development and the need for facilities.

In order to determine the appropriate measures, or service units, of development impact, a range of independent published sources were utilized and applied to the City of Bellevue as described in the following Table C.

Table C
Impact Fee Service Unit Measurement Component Sources

Impact Fee Component	Service Unit Measurement	Major Source of Data
Community Development	Number of employees; number of businesses	2020 U.S. Census; City of Bellevue 2017 Comprehensive Plan
Fire	Calls for service per structure (housing unit or business)	Bellevue, Hailey, Wood River Fire & Rescue Services Cooperative Efforts Feasibility Study; 2019 Fire Chief Annual Report
Library	Per capita library visits	American Academy of Arts & Sciences 2017
Marshal	Calls for Service per structure	City of Bellevue 2017 Comprehensive Plan
Streets	Average daily vehicles trips per housing unit; per business	Institute of Traffic Engineers 2019

To determine the share of future residential and business development to be allocated to the development impact fee, a combination of vacant residential lots in Bellevue including the Strahorn Canyon Ranch project were projected through 2042. (See Table C - "Projected Population, Housing Unit and Employment Growth 2022 – 2042"). These projections reflect a net increase of 288 housing units and 794 residents by 2042. (Note: A 7.9% housing unit vacancy rate has been applied to the 300 new housing units, the most recent housing vacancy rate reported for Bellevue by the U.S. Census.) The projected population is based on 2.5 persons per household, a slight decline from the 2020 Census that reported 2.55 persons per household, reflecting national and local trends of smaller average household sizes.

Bellevue has in excess of 24.5 acres of business zoned property that is either vacant or under-developed according to the City of Bellevue [2017 Comprehensive Plan](#) and can expect new business or light industrial businesses to be added in the future. This vacant business zoned land will accommodate an increase in the number of local businesses and employees to serve the city's population growth.

Total employment within the City of Bellevue is also projected to further assess the number of services units, i.e., persons using the library, streets, calls for law enforcement and fire services, etc. The projected number of new employees for each major land use is based on the number of parking spaces/employees per 1,000 square feet (SF) as specified in the Bellevue Zoning Ordinance. These requirements are based on the following:

- a) Retail/Restaurant: 1 space per each 500 square feet of net floor space = 2 spaces per 1,000 SF
- b) Office: 1 space per each 300 square feet of net floor space = 3.33 spaces per 1,000 SF
- c) Light Industrial: 1 space per each 600 square feet of net gross floor space = 1.67 per 1,000 SF

City of Bellevue, ID Development Impact Fee Update

These employment projections are derived from Bellevue's population growth and reflect the city increasing from 171 businesses in 2020 to 194 businesses in 2042. There are 935 persons employed in Bellevue's 170 businesses according to the U.S. Census Bureau, or an average of 5.3 persons per business. Therefore, these 23 additional businesses are projected to result in 130 additional employees, an average of 5.3 persons per business. These employees will also utilize the city's library, streets, trails and generate calls for Marshal and fire services.

Based on the combined total 2020 U.S. Census population of 2,560 persons and the addition of 33 residential units permitted since 2020, and employment figures, 935 local jobs, and the projected 2042 population, +733 persons, and new employees, 134 employees, resulting in a **total of 4,491 service units**. New population and jobs are projected to represent 18.8% of the city in 2042.

Table D
Projected Bellevue Population, Housing and Employment Development

Year	Bellevue Population	Total Housing Units	Bellevue Projected Population	Number of Businesses	Bellevue Employment
2000	1,876	0	-	-	N / A
2010	2,287	0	-	-	N / A
2015	2,333	0	-	-	935
2020	2,560	977	-	-	N / A
2021	2,622	992	-	-	941
2022	2,642	1,001	-	171	948
2023	-	1,016	2,680	172	954
2024	-	1,031	2,714	174	961
2025	-	1,046	2,746	176	967
2026	-	1,061	2,791	178	974
2027	-	1,076	2,833	179	980
2028	-	1,091	2,872	180	987
2029	-	1,106	2,908	181	993
2030	-	1,121	2,947	182	1,000
2031	-	1,136	2,984	184	1,006
2032	-	1,151	3,022	185	1,012
2033	-	1,166	3,061	186	1,018
2036	-	1,211	3,179	189	1,037
2037	-	1,226	3,218	190	1,045
2040	-	1,271	3,335	193	1,066
2041	-	1,286	3,374	194	1,072
2042 TOTAL	-	1,301 units	3,413 persons	195	1,078 jobs
Net Change 2022 – 2042	-	300 units	733 persons	23 businesses	130 jobs
Total Service Units: 4,491		3,413 persons = 76% of total		1,078 jobs = 24% of total	

Source: U.S. Census; City of Bellevue 2017 Comprehensive Plan; RICHARD CAPLAN & ASSOCIATES.

III. Impact Fee by Department

This section of the study analyzes the proposed development impact fee for each element of the city's capital improvement plan by department.

Administration, Buildings & Grounds Services Capital Improvements

Administrative and buildings and grounds capital improvements are most correlated to the number of residents and employees in Bellevue. The cost of preparing a development impact fee study and its periodic update are also eligible expenses and may be incorporated into determining the development impact fee. An estimate for these costs has been added to the administration impact fee calculation. The capital improvement plan administrative costs and buildings and grounds are respectively projected to be \$430,000 and \$914,425.

Based on these projections, the proposed development impact fee associated with these capital improvements are presented in the following table and are as follows:

- Residential unit: \$181.92 allocated to administration and \$386.86 allocated to buildings and grounds;
- Retail development (per 1,000 square feet): \$45.96 for administration and \$97.93 for buildings and grounds;
- Office development (per 1,000 square feet): \$76.52 for administration and \$162.73 for buildings and grounds; and
- Light industrial development (per 1,000 square feet): \$38.38 for administration and \$81.61 for buildings and grounds.

Table E

Administration, Buildings & Grounds Service Unit Analysis

Factor	Administration	Buildings & Grounds
Population	3,413	3,413
<u>Employees</u>	<u>1,078</u>	<u>1,078</u>
Total Service Units	4,491	4,491
Capital Improvements Plan 2023 – 2042	\$430,000	\$914,425
Cost per Service Unit	\$ 95.75	\$203.61
Per Capita Service Unit Share	76%	76%
DIF per Housing Unit (@ 2.5 persons per unit)	\$181.92	\$386.86
Employee Service Unit Share	24%	24%
DIF per 1,000 Retail SF (@2 per 1,000 SF)	\$45.96	\$97.73
DIF per 1,000 Office SF (@3.33/1,000 SF)	\$76.52	\$162.73
DIF per 1,000 Light Industrial SF (@1.67/1,000 SF)	\$38.38	\$81.61

Community Development Capital Improvements

Community development capital improvements are also associated with the number of residents and employees in Bellevue. The community development capital improvement plan costs are projected to be \$1,050,000. Based on these projections, the proposed development impact fee associated with these capital improvements are presented in the following table and are as follows:

- Residential unit: \$444.32;
- Retail development (per 1,000 square feet): \$112.22;
- Office development (per 1,000 square feet): \$186.85; and
- Light industrial development (per 1,000 square feet): \$93.71.

Table F
Community Development Service Unit Analysis

Factor	
2042 Population	3,413
2042 Employees	<u>1,078</u>
Total Service Units	4,491
Community Development CIP 2023 – 2042	\$1,050,000
Cost per Service Unit	\$233.80
Per Capita Service Unit Share	76%
DIF per Housing Unit (@ 2.5 persons per unit)	\$444.32
Employee Service Unit Share	24%
DIF per 1,000 Retail SF (@2/1,000 square feet)	\$ 112.22
DIF per 1,000 Office SF (@3.33/1,000 square feet)	\$186.85
DIF per 1,000 Light Industrial SF (@1.67/1,000 SF)	\$93.71

Fire Services Capital Improvements

Fire protection within Bellevue is provided by the Bellevue Volunteer Fire Department (BFD) overseen by a half-time Fire Chief and supplemented with a part-time Fire Inspector. The busiest zones within Bellevue for the Fire Department are residential. Expansion of the service area and new residential and commercial construction will be the main basis for increases in fire department capacity.

The FY 2023 – 2042 Bellevue Capital Improvements Plan projects \$1,562,584 in capital requirements for fire services which includes a \$500,000 one-time expenditure for a new station and/or station expansion.

Fire services' capital improvements are impacted by the number of calls for service to structures, either residential units or businesses. The number of calls for Fire Department services is based on the call data reported for the Bellevue Fire Chief's 2019 Annual Report and in the City of Bellevue, City of Hailey, and Wood River Fire & Rescue Cooperative Efforts Feasibility Study in 2011. Based on the 170 businesses in the city in 2017 and the number of residential units, the BFD averaged around 50 calls in 2019 and are projected by the Feasibility Study to average 70 calls in 2042 with the addition of a total of 300 housing units and 23 businesses. (See Table G).

City of Bellevue, ID Development Impact Fee Update

Based on these projections, the proposed development impact fee associated with these capital improvements are presented in the following table and are as follows:

- Residential unit: \$907.68;
- Retail development (per 1,000 square feet): \$49.76;
- Office development (per 1,000 square feet): \$82.85; and
- Light industrial development (per 1,000 square feet): \$41.55.

Table G
Fire Services Service Unit Analysis

Projected Housing Units 2042	1,301
Projected Businesses 2042	195
Total Service Units	1,496
Fire Capital Improvements Plan 2023 – 2042	\$ 1,562,584
Cost per Service Unit	\$1,044.51
Housing Unit Share	86.9%
DIF Per Housing Unit	\$907.68
Business Share of ADT	13.1%
DIF per Business	\$136.23
Equals DIF per Employee (@5.5 business)	\$ 20.51
DIF per 1,000 Retail SF (@2/1,000 SF)	\$49.76
DIF per 1,000 Office SF (@3.33/1,000 SF)	\$82.85
DIF per 1,000 Light Industrial SF (@1.67/1,000 SF)	\$41.55

Source: Bellevue, Hailey & Wood River Fire & Rescue Cooperative Efforts Feasibility Study; City of Bellevue 2017 Comprehensive Plan.

Library Capital Improvements

Bellevue offers a range of services through the city library, which has been open to the public since approximately 1947. After years in City Hall, the library transferred to its current location, a small building next door, which had been the Bellevue Marshal's office. Bellevue's collection of books contains more than 10,000 volumes with access also available to other materials through the Inter-Library Loan Program.

The number of library visitors for the Bellevue Public Library is based on the national per capita visitation rate of library users published by the American Academy of Arts & Sciences. Library usage per capita was reported to be 4.6 visits per capita. Therefore, for purposes of determining library service units, library capital improvements are associated to the number of residents and employees in Bellevue. The library's capital improvement plan costs are projected to be \$154,500 through 2042. Based on these projections, the proposed development impact fee associated with these capital improvements are presented in the following table and are as follows:

- Residential unit: \$65.36;
- Retail development (per 1,000 square feet): \$16.51;
- Office development (per 1,000 square feet): \$27.49; and
- Light industrial development (per 1,000 square feet): \$13.79.

Table H
Library Services Service Unit Analysis

2042 Population	3,413
<u>2042 Employees</u>	<u>1,078</u>
Total Service Units	4,491
Library Capital Improvements Plan 2023 - 2042	\$154,500
Cost per Service Unit	\$34.40
Per Capita Service Unit Share	76%
DIF per Housing Unit (@ 2.5 persons per unit)	\$65.36
Employee Service Unit Share	24%
DIF per 1,000 Retail SF (@2/1,000 SF)	\$16.51
DIF per 1,000 Office SF (@3.33/1,000 SF)	\$27.49
DIF per 1,000 Light Industrial SF (@1.67/1,000 SF)	\$13.79

Marshal Capital Improvements

Law enforcement in Bellevue is carried out by the Marshal's office. In 2015 the Marshal's Office handled 3,526 calls for service. Based on the city's 2015 population and employment, these calls represented 1.06 calls per capita and per employee. Therefore, Marshal's capital improvements are calculated on the number of persons, residents, and employees in Bellevue. The Marshal's capital improvement plan costs are projected to be \$440,000 through 2042. Based on these projections, the proposed development impact fee associated with these capital improvements are presented in the following table and are as follows:

- Residential unit: \$186.15;
- Retail development (per 1,000 square feet): \$47.03;
- Office development (per 1,000 square feet): \$78.30; and
- Light industrial development (per 1,000 square feet): \$39.27.

Table I
Marshal Service Unit Analysis

2042 Population	3,413
<u>2042 Employees</u>	<u>1,078</u>
Total Service Units	4,491
Marshal Capital Improvements Plan 2023 – 2042	\$440,000
Cost per Service Unit	\$97.97
Per Capita Service Unit Share	76%
DIF per Housing Unit (@ 2.5 persons per unit)	\$186.15
Employee Service Unit Share	24%
DIF per 1,000 Retail SF (@2/1,000 SF)	\$47.03
DIF per 1,000 Office SF (@3.33/1,000 SF)	\$78.30
DIF per 1,000 Light Industrial SF (@1.67/1,000 SF)	\$39.27

Parks Capital Improvements

Parks capital improvements also are calculated on the number of residents and employees in Bellevue. The park's capital improvement plan costs are projected to be \$188,000. Based on these projections, the proposed development impact fee associated with these capital improvements are presented in the following table and are as follows:

- Residential unit: \$41.86;
- Retail development (per 1,000 square feet): \$22.10;
- Office development (per 1,000 square feet): \$33.47; and
- Light industrial development (per 1,000 square feet): \$16.78.

Table J

Parks Service Unit Analysis

2042 Population	3,413
<u>2042 Employees</u>	<u>1,078</u>
Total Service Units	4,491
Parks Capital Improvements Plan 2023 – 2042	\$172,000
Cost per Service Unit	\$ 79.54
Per Capita Service Unit Share	76%
DIF per Housing Unit (@ 2.5)	\$41.86
Employee Service Unit Share	24%
DIF per 1,000 Retail SF (@2/1,000)	\$22.10
DIF per 1,000 Office SF (@3.33/1,000)	\$33.47
DIF per 1,000 Light Industrial SF (@1.67/1,000)	\$16.78

Streets Capital Improvements

Local streets, not under jurisdiction of the Idaho Department of Transportation, are maintained by the Public Works Department. The city's share of street improvements from 2020 and projected by the City of Bellevue through 2042 are projected to cost \$1.985 million. These improvements will enhance connectivity and improve streets for better service to existing and future residential and business development.

The streets impact methodology utilizes a percentage of added vehicle trips by type of land use. As documented by the National Household Travel Survey Trip Generation published by the Institute of Transportation Engineers (ITE 9th Edition 2012) vehicles trips are based on the following weighting factors:

- 121% of the average number of trips are from residential development. Residential trips include data on home-based work trips, social, and recreational purposes.
- Shopping (i.e., commercial) trips are roughly 66% of the average trip lengths.

These weighting factors are part of determining the projected traffic impact of new residential and business/light industrial development.

City of Bellevue, ID Development Impact Fee Update

The most significant and traveled roadway in the City of Bellevue, State Highway 75 (SH-75), is owned and maintained by the Idaho Department of Transportation (IDT). According to the most recently published IDT traffic counts utilized in the 2012 Blaine County Transportation Plan, the average vehicles per day (ADT) in Bellevue were:

- SH-75 at Gannett-Pacabo Road in the southern portion of Bellevue was 8,800 vehicles; and
- SH-75 at Spruce Street in the northern portion of Bellevue had 12,000 vehicles.

Therefore, for the purpose of quantifying the projected traffic impact of new development on the city's streets, this study used a mid-point of these two SH-75 ADT's, or 10,600 average vehicles per day (ADT). Using the ITE weighting formula, these 10,600 vehicles per day represent 6,614 trips generated by residential development, or 62.4% of the total traffic and 3,986 vehicles from business/light industrial development, or 37.6% of total average daily trips.

The study also incorporated the findings of the Strahorn Phase 1 Transportation Impact Study prepared by Galena Engineering in 2018. Utilizing the weighted average by land use, the new business/light industrial businesses are projected to generate an additional 299 vehicle trips per day. Altogether, SH-75 traffic is projected to increase 11,416 ADT from 10,600 vehicles per day.

Table K
Projected Average Vehicle Per Day (ADT) 2042

Traffic Demand	Average Vehicle Count (ATD)	Percent of 2042
Existing ADT:		
Residential	6,614 average vehicles/day	62.4%
Business	3,986 average vehicles/day	37.6%
SUB-TOTAL EXISTING:		
Projected Residential (300 units)	517 average vehicles/day	4.6%
Projected 23 New Businesses/Light Industries	299 average vehicles/day	2.6%
TOTAL 2042 Projected ADT	11,416 average vehicles/day	100%

Source: IDT, Galena Engineering.

Based on these average vehicle trips, the following table calculates the impact fee by major land use.

Table L
Streets Service Unit Analysis

Current Residential ADT	6,614
<u>Current Business/Commercial ADT</u>	<u>3,986</u>
TOTAL ADT	10,600
2042 Projected residential increase in ADT	517
<u>2042 Projected business increase in ADT</u>	<u>299</u>
PROJECTED TOTAL ADT 2042	11,416
Streets Capital Improvements Plan 2023 – 2042	\$1,985,700
Cost per ADT	\$ 173.94
DIF per residential Unit (@ 1.726 trips/unit)	\$ 300.22
DIF per employee	\$312.90
DIF per 1,000 Retail SF (@2/1,000 SF)	\$625.80
DIF per 1,000 Office SF (@3.33/1,000 SF)	\$1,041.96
DIF per 1,000 Light Industrial SF (@1.67/1,000 SF)	\$522.54

IV. Conclusion and Recommended Development Impact Fee

In conclusion, when the components of each departments calculations of the city are combined, it is recommended that the city enact a **development impact fee of \$2,543 per residential unit and a range of \$855 to \$1,705 for every 1,000 square feet of new business development** as detailed in the following Table M.

Table M
Proposed Development Impact Fee Schedule 2023

City Service Area	Per Housing Unit	Retail (per 1,000 SF)	Office (per 1,000 SF)	Light Industrial (per 1,000 SF)
Administration	\$181.92	\$45.96	\$76.52	\$38.38
Buildings & Grounds	\$386.86	\$97.73	\$162.73	\$81.61
Community Development	\$459.99	\$121.75	\$202.71	\$101.66
Fire Services	\$907.68	\$49.76	\$82.85	\$41.55
Library	\$65.36	\$16.51	\$27.49	\$13.79
Marshal	\$186.15	\$47.03	\$78.30	\$39.27
Parks	\$41.86	\$22.10	\$33.47	\$16.78
Streets	\$300.22	\$625.80	\$1,041.96	\$522.54
TOTAL IMPACT FEE	\$ 2,543 per unit	\$1,027 per 1,000 SF	\$1,705 per 1,000 SF	\$855 per 1,000 SF

All development impact fees are in 2022 dollars with no assumed inflation rate. Necessary capital cost adjustments can and should be made during periodic evaluation and update of these fees. Enactment and collection of development impact fees will continue to support the City of Bellevue Capital Improvements Plan in the coming years.

Finally, in the event that City of Bellevue enacts financial incentives in the future to address affordable housing and/or incentives to attract certain types of new business, the City Council may consider applying a discount to the development impact fee schedule.

We appreciate the opportunity to assist the City of Bellevue with this important issue.

RICHARD CAPLAN & ASSOCIATES

City of Bellevue, ID Development Impact Fee Update

Appendix:
FY 2023 - 2027 Capital Improvements Plan

Department	FY 2023 Adopted	FY 2024	FY 2025	FY 2026	FY 2027	2023- 2027 TOTAL
Administration	\$0	\$80,000 (record retention system)	\$20,000 Software upgrades	\$5,000	0	\$105,000
Buildings & Grounds	\$1,625	\$8,000 sprinkler system	\$250,000- Relocate City Street Dept.	\$250,000- Relocate City Street Dept.	\$100,000 Improvements to City Shop	\$609,625
Community Development	\$0	\$2,500 Computer set up in Chambers	0	\$50,000 Trail construction	\$10,000; floodplain maintenance \$200,000: Town Square	\$262,500 (a) DIF eligible: \$260,000
Parks (b)	\$4,000	\$31,000- parking O'Donnell Park; storage, power receptacles	\$12,000- Build roof over event state at Memorial Park	0	0	\$47,000
Fire	\$61,584	\$100,000- Addition to fire station	\$100,000- Addition to fire station	\$100,000- Addition to fire station	\$100,000- Addition to fire station	\$461,584
Library (b)	\$0	\$22,500 (front door; exterior)	\$10,000 (computers)	\$22,000 (shelving)	0	\$52,500
Marshal	\$0	\$55,000	0	\$55,000	0	\$110,000
Streets	\$217,200	\$20,000; replacement of water truck; walkway 7 th to Cedar	\$24,000 Match grant ITD, Broadford Road Shared Use Pathway,	\$50,000 Chip Seal Oak St., Muldoon Road:	\$50,000 Project TBD	\$361,200
Sub-Total for Development Impact Fee						\$2,009,409
Wastewater	0	\$310,000 Facility Plan \$70,000 Chestnut Lane; \$40,000 jet cleaning truck \$200,000	\$190,000 Sewer Plant expansion \$150,000 GIS mapping; \$40,000; sewer main deficiencies \$50,000		\$35,000 (well)	\$1,016,000

City of Bellevue, ID Development Impact Fee Update

Water	\$7,500 Finish meter project; \$7,500 SCADA work at Tank; \$4,000 Chestnut sidewalk; \$79,000 CL2 at spring;	\$450,000 Main St. mainline replacement; \$250,000 Distribution system survey	\$35,000 Add CL2 at Chestnut well		\$220,000 Replace spring line pipe	\$371,100
TOTAL WATER & SEWER CAPITAL PROJECTS	\$98,000	\$1,320,000	\$391,100	\$0	\$442,000	\$2,251,100

- (a) Low value and type of Community Development expenditure is not considered to be a DIF eligible capital improvement.
- (b) Includes projects in FY 2024 included in 2020 CIP but not yet funded.

Source: City of Bellevue City Council September 28, 2020. City of Bellevue Budget 2022 – 2023.

**CITY OF BELLEVUE
PLANNING AND ZONING COMMISSION**

<p>REGARDING: Recommended updates to the 2020 City of Bellevue Development Impact Fees and Capital Improvement Plan.</p>	<p>FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION</p>
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REQUESTED ACTION: Make a recommendation to the Bellevue City Council to approve and adopt the 2022 update to the Development Impact Fees and Capital Improvement Plan.

Summary

Richard Caplan and Associates (RCA) was engaged by the City of Bellevue to update the 2020 development impact fees schedule. Impact fees are one-time payments by new development for growth-related infrastructure. Impact fees are intended to fund a portion of the system improvements that benefit the entire service area by increasing infrastructure capacity.

The Bellevue City Council adopted the current CIP on September 28, 2020. We are updating the current 2020 CIP Plan to include the Marshal's office who at the time of the original study was not included in the impact fees.

The Bellevue P&Z Commission held a public hearing on February 21, 2023, and made a recommendation to the Council to approve and adopt the draft 2022 Development Impact fee update as prepared by Caplan and Associates.

I. GENERAL BACKGROUND

1. **Notice of this hearing was:**
 - i. Published in the Idaho Mountain Express on February 1 and February 15, 2023
 - ii. Posted on the door of Bellevue City Hall, the Bellevue Post Office and on the City Website on February 16, 2023.
2. Any disclosures (i.e. conflicts of interest, site visits or *ex parte* communications)?
3. Attached to this report are the following exhibits:
Exhibit A—Development Impact Fee Update FY2022-2027

Exhibit B—Department Head Comments

There are no department head comments.

II. MOTION:

► **Motion:** Upon a motion by Lindberg and a second by McCollum, the Updated Capital Improvement Plan for FY2022-FY2027 prepared by Richard Caplan is recommended for approval as prepared by Caplan and Associates.

IT IS SO ORDERED this 6th day of March 2023



John Kurtz

Chair



Ashley Dyer

Community Development Department

AFFIDAVIT of PUBLICATION

State of Idaho
County of Blaine

Pam Morris, being the first duly

worn, deposes and says that she is the printer (publisher) of the Idaho Mountain Express, a newspaper published every week in Ketchum, County of Blaine, State of Idaho; that said newspaper has been continuously and uninterruptedly published for a period of seventy-eight consecutive weeks prior the first publication of the annexed notice, and is a newspaper qualified to publish legal notices as provided by act of the 1919 session of the legislature of the State of Idaho, known as House Bill 145; that the annexed advertisement was published once

each week for 1 consecutive issues in said newspaper proper and not in a supplement; that the date of the first

publication of said advertisement was on the 14 day of

June, 20 23, and the date of the last publication was

on the 14 day of June, 20 23

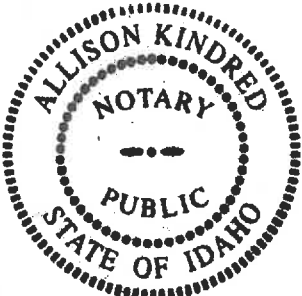
Pam Morris

Subscribed and sworn to before me this 14 day of

June, 20 23.

[Signature]

NOTARY PUBLIC



RESIDING AT HAILEY, IDAHO
MY COMMISSION EXPIRES ON 5/26/29

IDAHO MOUNTAIN EXPRESS
P.O. Box 1013
Ketchum, Idaho 83340
COST OF PUBLICATION

Number of Picas per Line 11.5

Number of Lines in Notice 80

Number of Insertions 1

_____ Lines tabular at _____ 9.0 cents/pica

80 Lines straight at \$73.60 8.0 cents/pica

_____ Subsequent lines at _____ 7.0 cents/pica

TOTAL COST \$73.60

COPY OF NOTICE

Legal Notice

TITLE OF NOTICE

PLAINTIFF ATTORNEY

DEFENDANT

PLAINTIFF

City of Bellevue

BILL TO

**CITY OF BELLEVUE
ORDINANCE NO. 2023-02**

**AN ORDINANCE OF THE
CITY OF BELLEVUE, IDAHO
AMENDING BELLEVUE'S CITY
CODE BY AMENDING TITLE 9-5,
DEVELOPMENT IMPACT FEE
SCHEDULE, PROVIDING FOR
A REPEALER CLAUSE; AND
PROVIDING FOR THE EFFECTIVE
DATE OF THIS ORDINANCE.**

WHEREAS, Idaho Code §67-8201 allows Idaho municipal corporations to enact ordinances allowing cities to collect development impact fees;

WHEREAS, Bellevue retained Richard Caplan and Associates to update Bellevue's development impact fees;

WHEREAS, Richard Caplan and Associates submitted a study for Development Impact Fees dated

November 30, 2022;

WHEREAS, Bellevue has adopted this development impact fee ordinance in accordance with the procedural requirements of Idaho Code § 67-8206.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, IDAHO, AS FOLLOWS:

SECTION 1. Establishes a revised Development Impact Fee Schedule

SECTION 2. The Fee Schedule attached hereto as Exhibit "A" depicts the amended Development Impact Fees and is hereby amended as shown in Exhibit "A".

SECTION 3. Should any section or

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80 Lines straight at \$73.60 8.0 cents/pica

Subsequent lines at _____ 7.0 cents/pica

TOTAL COST \$73.60

Development Impact Fee Ordinance

November 30, 2022;

WHEREAS, Bellevue has adopted this development impact fee ordinance in accordance with the procedural requirements of Idaho Code § 67-8206.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELLEVUE, IDAHO, AS FOLLOWS:

SECTION 1. Establishes a revised Development Impact Fee Schedule

SECTION 2. The Fee Schedule attached hereto as Exhibit "A" depicts the amended Development Impact Fees and is hereby amended as shown in Exhibit "A".

SECTION 3. Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

SECTION 4. All Ordinances or parts thereof in conflict herewith are hereby repealed and rescinded.

SECTION 5. This Ordinance shall be in full force and effect from and after its passage, approval, and publication according to law.

PASSED AND ADOPTED BY THE COMMON COUNCIL AND APPROVED BY THE MAYOR OF THE CITY OF BELLEVUE THIS 8th day of May 2023.

/s/Kathryn Goldman, Mayor

ATTEST:

/s/Maria Palomera
City Clerk

PUBLISH
IDAHO MOUNTAIN EXPRESS
JUNE 14, 2023



Memorandum

To: Bellevue Common Council

Re: Executive Session

Date: June 8, 2026

The Common Council may enter into executive session to consider personnel matters, as authorized under Idaho Code § 74-206(1)(b). This executive session will allow the Council to discuss a specific employee or personnel issue in a confidential setting, consistent with Idaho's Open Meeting Law requirements.

No final action or decision may be taken during executive session.

Suggested motion:

I move that the Council enter into executive session pursuant to Idaho Code § 74-206(1)(b) to consider personnel matters.