



AGENDA

JOIN TEAMS MEETING

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Meeting ID: 296 592 476 369 10

Passcode: hu63ES6K

https://teams.microsoft.com/l/meetup-join/19%3ameeting_MTI4YjgzYTAAtNmMxOS00ZWU0LTkxNGltZWQ2MTA0ZmJjNDc1%40thread.v2/0?context=%7b%22Tid%22%3a%224bf19b22-eade-47a0-a58b-8db6b13f043c%22%2c%22Oid%22%3a%22c5e34ffd-539c-475c-b8b7-172244c9c3d6%22%7d

CALL TO ORDER

ROLL CALL

1. NOTICE OF AGENDA COMPLIANCE - ACTION ITEM

*Finding that the regular meeting notice and agenda were posted in accordance with Idaho Code §74-204 within forty-eight (48) hours prior to the meeting at: the City of Bellevue City Hall, Post Office, on the City's website on **April 2, 2026**. **(Suggested Motion: I move the notice for the April 6, 2026, regular Meeting was completed in accordance with Idaho Code, Section §74-204.)***

2. CALL FOR CONFLICT: (As outlined in Idaho Code §74-404)

3. PUBLIC COMMENT: For items of concern **NOT** on the Agenda.

4. CONSENT AGENDA – ACTION ITEM

a. Findings of Fact, Conclusions of Law, and Decisions from Previous Meetings

i. DR-26-02 – City Hall Repainting

An application for Design Review Approval for façade changes to Bellevue City Hall, located at 115 East Pine Street. The property is 028 acres and zoned LB/R – Limited Business Residential.

5. NEW BUSINESS

a. DR-26-01 – Malone Shipping Containers– ACTION ITEM

An application for Design Review Approval for the placement of four (4) shipping containers to be placed on the site of Karl Malone Ford and Powersports. Two (2) of the containers are proposed to be located within a fenced storage area yet to be constructed, while the other two (2) are proposed to be located along the rear of the building. The property is 4.97 acres and zoned B – Business.

6. NEXT MEETING

a. Regular Meeting – April 20, 2026

7. ADJOURNMENT - ACTION ITEM

I, designated Planning Commission Secretary for the City of Bellevue, Idaho, hereby certify that the regular meeting notice and agenda were posted in accordance with **Idaho Code §74-204** within forty-eight (48) hours prior to the meeting at: the City of Bellevue City Hall, Post Office, and on the City of Bellevue Website: <https://www.bellevueidaho.us/> on **April 2, 2026**.

In compliance with the American with Disabilities Act, individuals needing special accommodations during this meeting should notify the City Bellevue, 115 East Pine Street, Bellevue, Idaho 83313, or **phone number 208-788-2128 ext. 8, at least twenty-four (24) hours prior to the meeting.**

AGENDA

UNIRSE A LA REUNIÓN DE EQUIPOS

[Únete a la reunión ahora](#)

ID de la reunión: 296 592 476 369

10

Código de entrada: hu63ES6K

https://teams.microsoft.com/l/meetup-join/19%3ameeting_MTI4YjgzYTAtNmMxOS00ZWU0LTkxNGltZWQ2MTA0ZmJjNDc1%40thread.v2/0?context=%7b%22Tid%22%3a%224bf19b22-eade-47a0-a58b-8db6b13f043c%22%2c%22Oid%22%3a%22c5e34ffd-539c-475c-b8b7-172244c9c3d6%22%7d

LLAMADA AL ORDEN

PASE DE LISTA

8. AVISO DE CUMPLIMIENTO DEL ORDEN DEL DÍA - PUNTO DE ACCIÓN

*Se constató que el aviso y la agenda de la reunión ordinaria se publicaron conforme al Código de Idaho §74-204 dentro de las cuarenta y ocho (48) horas previas a la reunión en: el Ayuntamiento de Bellevue, Oficina de Correos, en la página web de la ciudad el 2 de abril de 2026. (**Moción sugerida: Propongo que el aviso para la reunión ordinaria del 6 de abril de 2026 se haya completado conforme al Código de Idaho, Sección §74-204.**)*

9. LLAMADO AL CONFLICTO: (Según lo establecido en el Código de Idaho §74-404)

10. COMENTARIO PÚBLICO: Para asuntos de preocupación que NO están en la agenda.

11. ORDEN DEL DÍA DEL DÍA DE CONSENTIMIENTO – PUNTO DE ACCIÓN

a. Hallazgos de hecho, conclusiones de derecho y decisiones de reuniones anteriores

i. DR-26-02 – Repintura del Ayuntamiento

Solicitud de aprobación de revisión de diseño para cambios en la fachada del Ayuntamiento de Bellevue, situado en el 115 de East Pine Street. La propiedad tiene 028 acres y está zonificada LB/R – Residencial Comercial Limitado.

12. NUEVOS NEGOCIOS

a. DR-26-01 – Contenedores Malone – PUNTO DE ACCIÓN

Solicitud de aprobación de revisión de diseño para la colocación de cuatro (4) contenedores de transporte en el lugar de Karl Malone Ford y Powersports. Se propone que dos (2) de los contenedores se ubiquen en un área de almacenamiento vallada que aún no se ha construido, mientras que los otros dos (2) se proponen situarse en la parte trasera del edificio. La propiedad tiene 4,97 acres y está clasificada como B – Negocios.

13. PRÓXIMA REUNIÓN

a. Reunión ordinaria – 20 de abril de 2026

14. SUSPENSIÓN - PUNTO DE ACCIÓN

CITY OF BELLEVUE

PLANNING & ZONING COMMISSION

REGARDING AN APPLICATION OF: the City of Bellevue, an application for Design Review Approval for changes to the exterior paint color of the structure located at 115 East Pine Street..	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION
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DESCRIPTION: An application for Design Review Approval for changes to the exterior paint color of the structure located at 115 East Pine Street.

The Bellevue Planning and Zoning Commission held a regular meeting on March 16, 2026 at which time the Commission voted to approve the subject application.

I. GENERAL BACKGROUND

1. **Notice** of this hearing is not required pursuant to Bellevue City Code Section 10-17-4(C).
2. The Commission was asked to disclose any conflicts of interest or *ex parte* communications on the subject application. No Commissioners noted any conflicts of interest.
3. Attached to this report are the following exhibits:

Exhibit A—Application Materials

Document Name	Receipt of Last Revision
Application	March 12, 2026
Colored Building Elevations	March 12, 2026
Paint Color	March 12, 2026
Site Plan	March 12, 2026
Compliance Narrative	March 12, 2026

Exhibit B—Department Head Comments

No Department Head comments had been received prior to the meeting of the Planning & Zoning Commission.

Exhibit C— Public Comments

Prior to the meeting, no public comments had been received.

II. APPLICABLE DESIGN REVIEW STANDARDS & CRITERIA

BELLEVUE CITY CODE SECTION 10-17-5

10-17-5(B)(1)(f):

Metal siding shall not be permitted on buildings on parcels of real property abutting Main Street (State Highway 75) unless deemed appropriate by the Planning and Zoning Commission. All such buildings shall be constructed of or faced with materials that are similar in texture, finish, and appearance to natural materials. The use of natural materials such as wood, brick and stone shall be encouraged, and exterior wall colors shall be of natural earth tones.

FACTS: The applicant is proposing to repaint an existing structure.

The existing structure is faced with wood, brick, and stucco, painted off-white with green trim. No metal siding exists.

The applicant is proposing to utilize Valspar “Chilean Seabass” as the primary color and “Dusky Parakeet” for the trim.

FINDINGS: The existing structure is primarily constructed of natural materials.

The proposed colors are of a natural earth tone.

The proposed façade change is consistent with applicable Design Standards of Bellevue City Code.

CONCLUSION: The subject application meets the requirements for granting Design Review Approval.

II. DECISION AND ORDER

► **Motion:** Upon a Motion by Commissioner Grootveld and a second by Commissioner Beiser, a unanimous vote, the Bellevue Planning and Zoning Commission hereby **approves** of the subject application submitted by Betty’s Authentic Peruvian Cuisine, finding the application **complies** with the applicable criteria set forth in Bellevue City Code.

Notice of Expiration

Pursuant to Bellevue City Code Section 10-17-7(A), approval of the Design Review application shall expire if the proposed modifications are not complete within one (1) year of the final action by the Commission.

IT IS SO ORDERED this 6th day of April, 2026

John Kurtz
Chair

Brian Parker
Community Development Director



Memorandum

To: Bellevue Planning & Zoning Commission

From: Brian Parker, Community Development Director

Re: DR-26-01 – Malone Shipping Containers

Date: April 6, 2026

Background

At the March 2, 2026 Planning & Zoning Commission Meeting, the Commission reviewed the subject application for the placement of four (4) shipping containers at the Karl Malone Ford & Powersports dealership at 811 North Main Street. The Commission continued the matter to a date uncertain with the following requested additional documentation:

- An updated landscape plan with additional screening for the eight foot (8') metal fence and remediation for the existing unpermitted access point onto Kirtley Street.
- An updated site plan with the shipping containers relocated to not interfere with parking or fire hydrant access.
- Renderings/elevations from the streets near adjacent residential buildings
- Current approved site and landscape plans

The applicant has provided the following information:

- An updated landscape plan for the portion of the proposed fenced area facing south.
- An updated site plan with all four (4) shipping containers located within the proposed fenced area.
- Photos of proposed fencing materials

The most recent approved site and landscape plan is also attached.

Recommendation and Next Steps

Based upon the record provided to date, Staff defers to the Commission regarding the approval of the subject application. Should the Commission vote to approve the subject application, Staff recommends the following conditions of approval:

1. All shipping containers located on the subject property larger than two hundred (200) square feet require a building permit and compliance with applicable building code requirements.

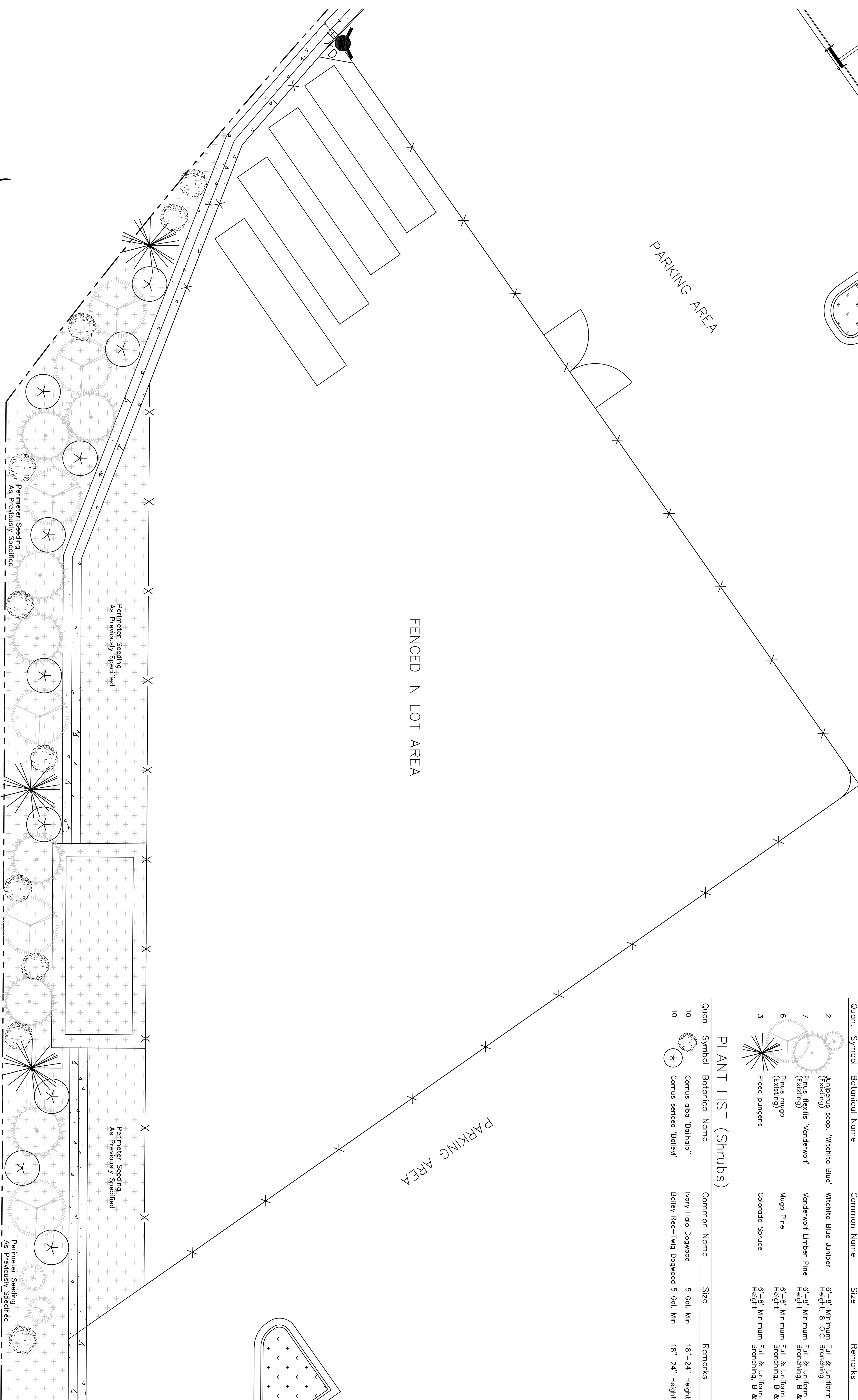
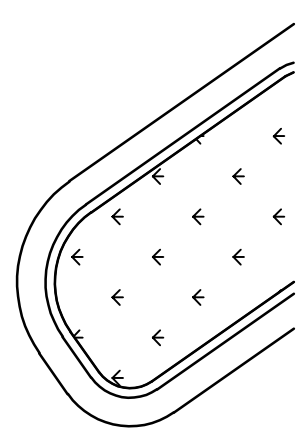
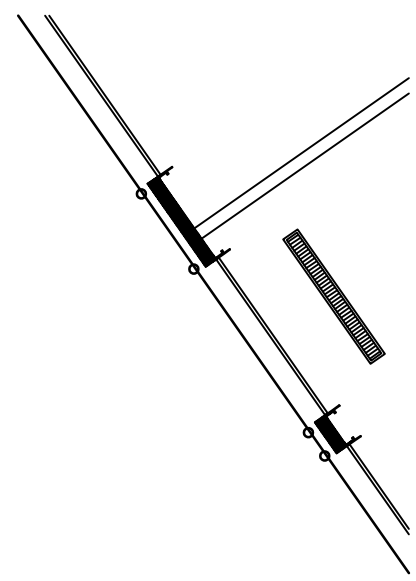
Building permits shall be applied for within one (1) month of the approval of this application, or the shipping containers removed.

2. Prior to the issuance of a building permit for any shipping container, the applicant shall provide a revised landscape plan showing a minimum of two (2) additional trees to be planted in the existing unpermitted access onto Kirtley Street.
3. Prior to the issuance of a temporary or final certificate of occupancy for the shipping containers, all fencing and additional landscaping shown on the site plan shall be installed.
4. All fencing, landscaping, and improvements shall be maintained in a state of good condition in accordance with Bellevue City Code Section 10-17-8.

All conditions of approval associated with prior entitlements remain in effect.

Enclosures

1. Updated Landscape Plan
2. Updated Site Plan
3. Photo of proposed eight foot (8') fence material
4. Photo of proposed six foot (6') fence material
5. Approved fence plan
6. Approved landscape plan submitted with BP-24-048
7. Materials from March 2, 2026 meeting packet



PLANT LIST (Trees)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
2		<i>Juniperus scop.</i> 'Witchita Blue'	Witchita Blue Juniper	6'-8' Minimum Height, 9" O.C. Branching	Full & Uniform Branching, B & B
7		<i>Pinus flexilis</i> 'Vanderwolf'	Vanderwolf Limber Pine	6'-8' Minimum Height	Full & Uniform Branching, B & B
6		<i>Pinus mugo</i> (Existing)	Mugo Pine	6'-8' Minimum Height	Full & Uniform Branching, B & B
3		<i>Picea pungens</i>	Colorado Spruce	6'-8' Minimum Height	Full & Uniform Branching, B & B

PLANT LIST (Shrubs)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
10		<i>Cornus alba</i> 'Ballholo'	Ivory Halo Dogwood	5 Gal. Min.	18"-24" Height
10		<i>Cornus sericea</i> 'Bailey'	Bailey Red-Twig Dogwood	5 Gal. Min.	18"-24" Height

KIRTLEY ST.

KARL MALONE FORD + POWERSPORTS STORE
LANDSCAPE PLAN
 11348 STATE HIGHWAY 75, BELLEVUE, ID 83313



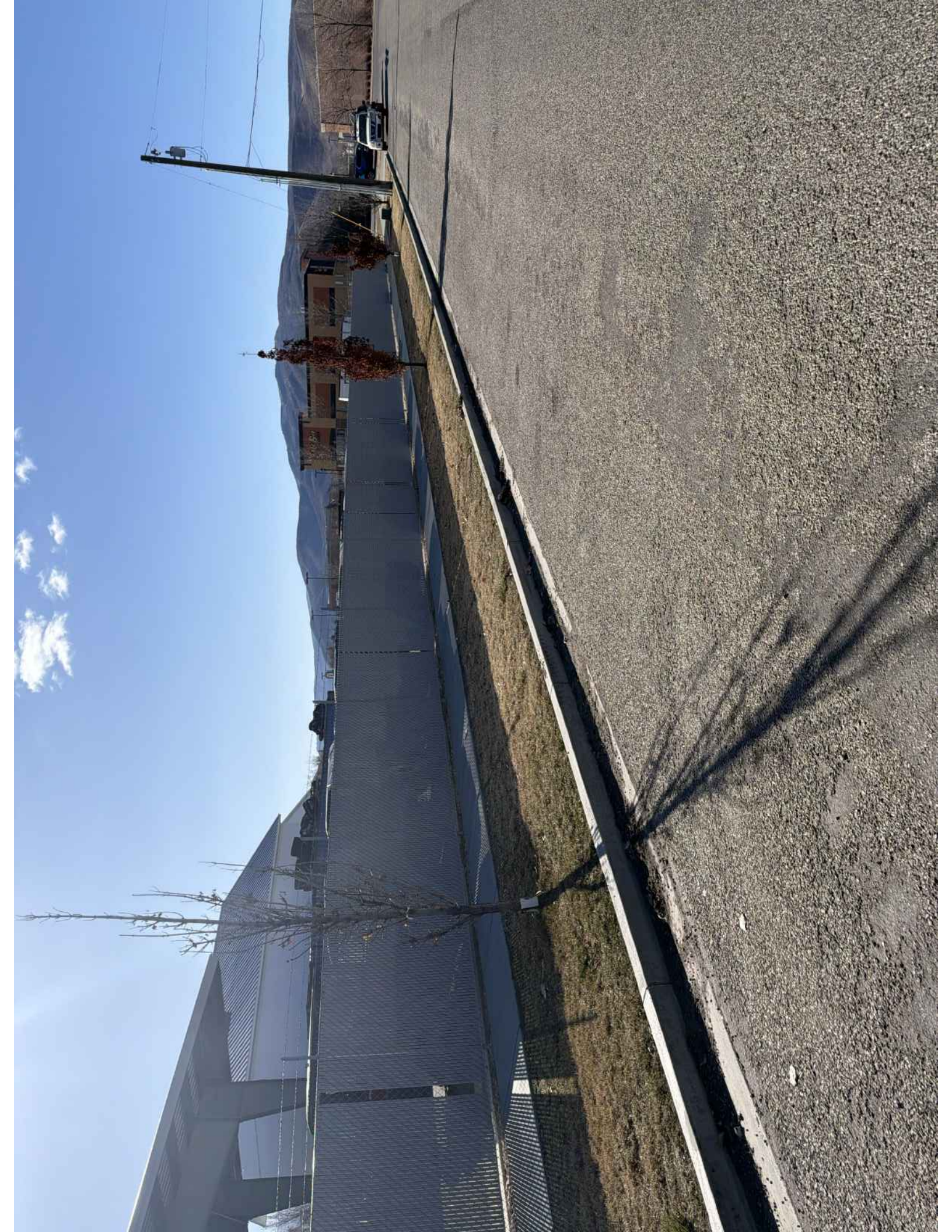
LEGEND ENGINEERING
 52 WEST 100 NORTH
 HEBBER CITY, UT 84032
 PHONE: 435-654-4828
 www.legendengineering.com

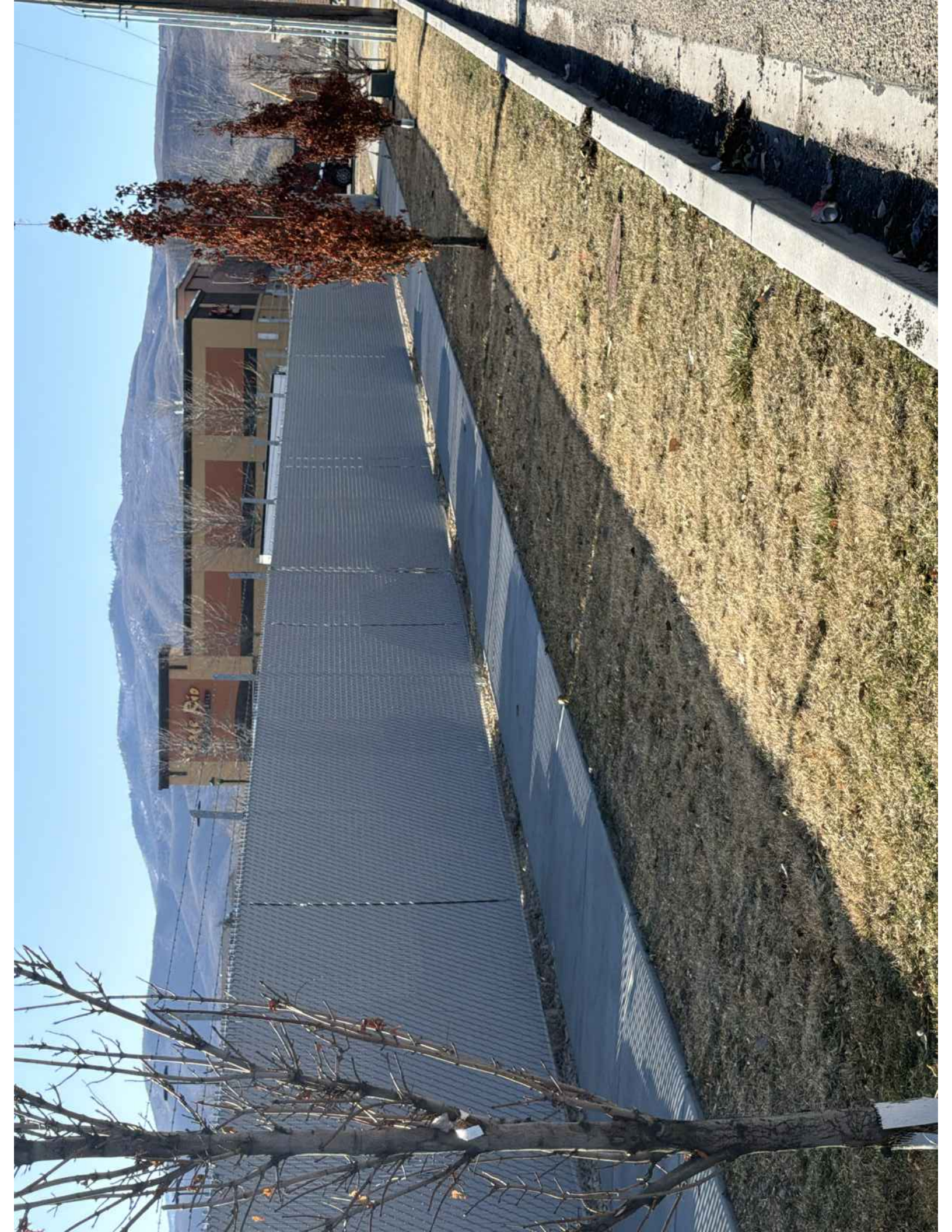
NO.	REVISIONS	BY	DATE

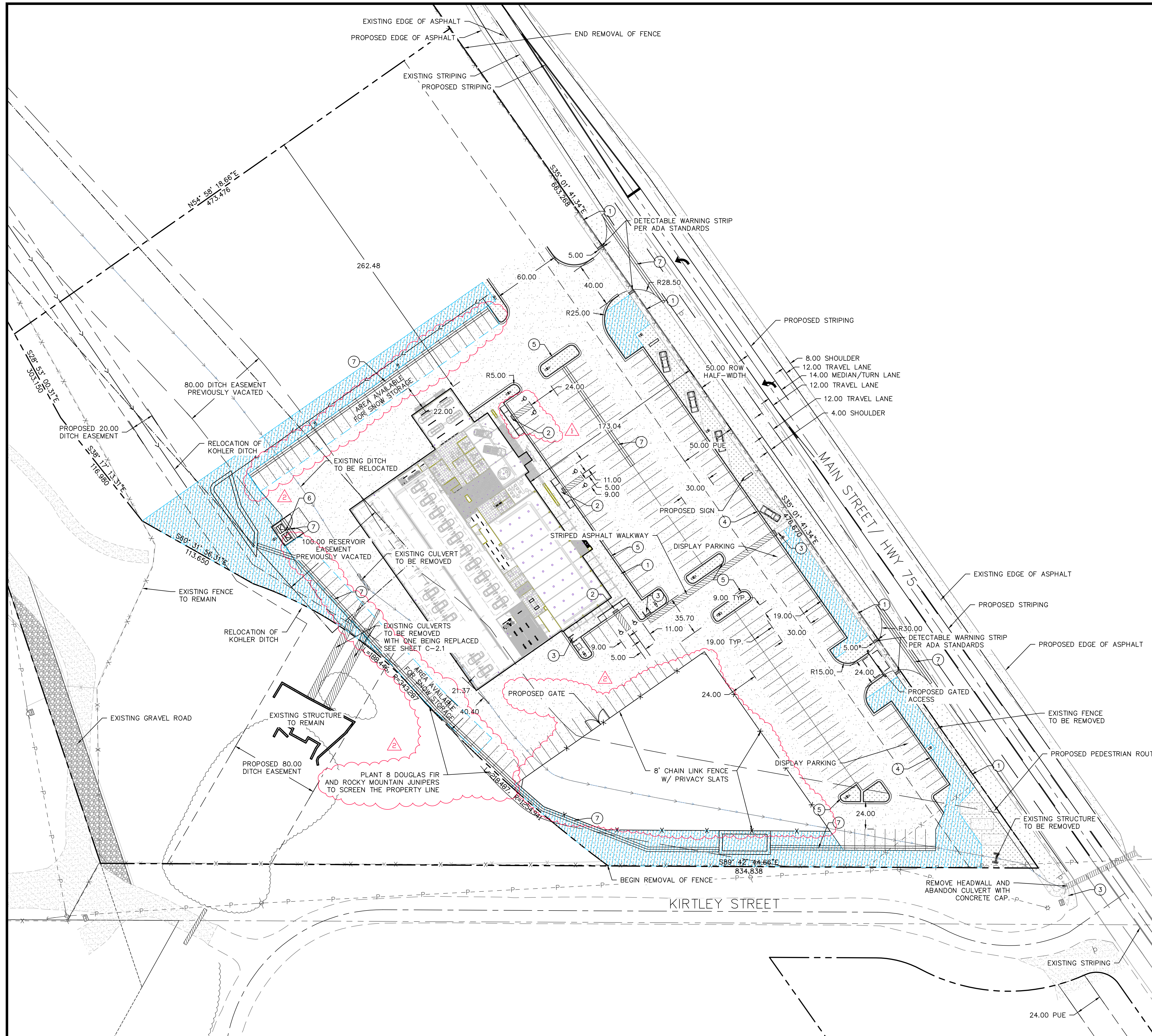
PROJECT ENGINEER: LR DESIGNER: CJ

SHEET: **L-1**
 DATE: 3/20/2026









LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	====
PROPOSED CURB AND GUTTER	=====
SETBACK LINE	- - - - -
EXISTING FENCE	- - - X - - -
LANDSCAPE AREA	[Stippled pattern]
CONCRETE AREA	[Grid pattern]
PROPOSED ASPHALT AREA	[Dotted pattern]
SNOW STORAGE AREA	[Blue hatched pattern]

SITE DATA

LOT AREA:	317,109 SF (7.28 ACRES)
DEVELOPED AREA:	220,939 SF (5.07 ACRES)
BUILDING AREA:	30,875 SF± 14.0%
PAVEMENT AREA:	123,504 SF± 55.9%
LANDSCAPE AREA:	38,530 SF± 17.4%
FUTURE EXPANSION AREA:	28,030 SF± 12.7%

SNOW STORAGE (PRIOR): 40,800 SF±
SNOW STORAGE (CURRENT): 31,608 SF±
ADDITIONAL STORAGE: 9,200 SF±

BUILDING DATA
 ZONE: B (BUSINESS ZONE)

- SITE DESIGN NOTES:**
- PROPOSED SIDEWALK PER ISPC SD-709.
 - INSTALL PEDESTRIAN RAMP PER ISPC SD-712G AND ADA STALL. ALL ADA STALLS AND PEDESTRIAN RAMP TO BE INSTALLED PER ADA STANDARDS. SEE C-4 FOR DETAIL.
 - INSTALL PEDESTRIAN RAMP PER ISPC SD-712C. ALL ADA STALLS AND PEDESTRIAN RAMP TO BE INSTALLED PER ADA STANDARDS. SEE C-4 FOR DETAIL.
 - PROPOSED CURB & GUTTER TYPE III PER ISPC SD-701.
 - PROPOSED REVERSE PAN CURB AND GUTTER PER DETAIL 1.
 - PROPOSED DUMPSTER LOCATION.
 - CONCRETE VALLEY GUTTER PER ISPC SD-708.

- GENERAL NOTES:**
- CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
 - ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
 - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER ISPC AND CITY STANDARDS. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
 - SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 - ALL WORK SHALL BE ACCORDING TO ISPC AND CITY STANDARDS.

0 40 80 120
 1" = 40'
 Scale in Feet

NO.	REVISIONS	BY	DATE
1	CITY COMMENTS	CJ	8/15/24
2	OWNER CHANGE	CJ	11/8/25

LEGEND ENGINEERING
 52 WEST 100 NORTH
 HEBBER CITY, UT 84032
 PHONE: 435-654-4828
 www.legendengineering.com

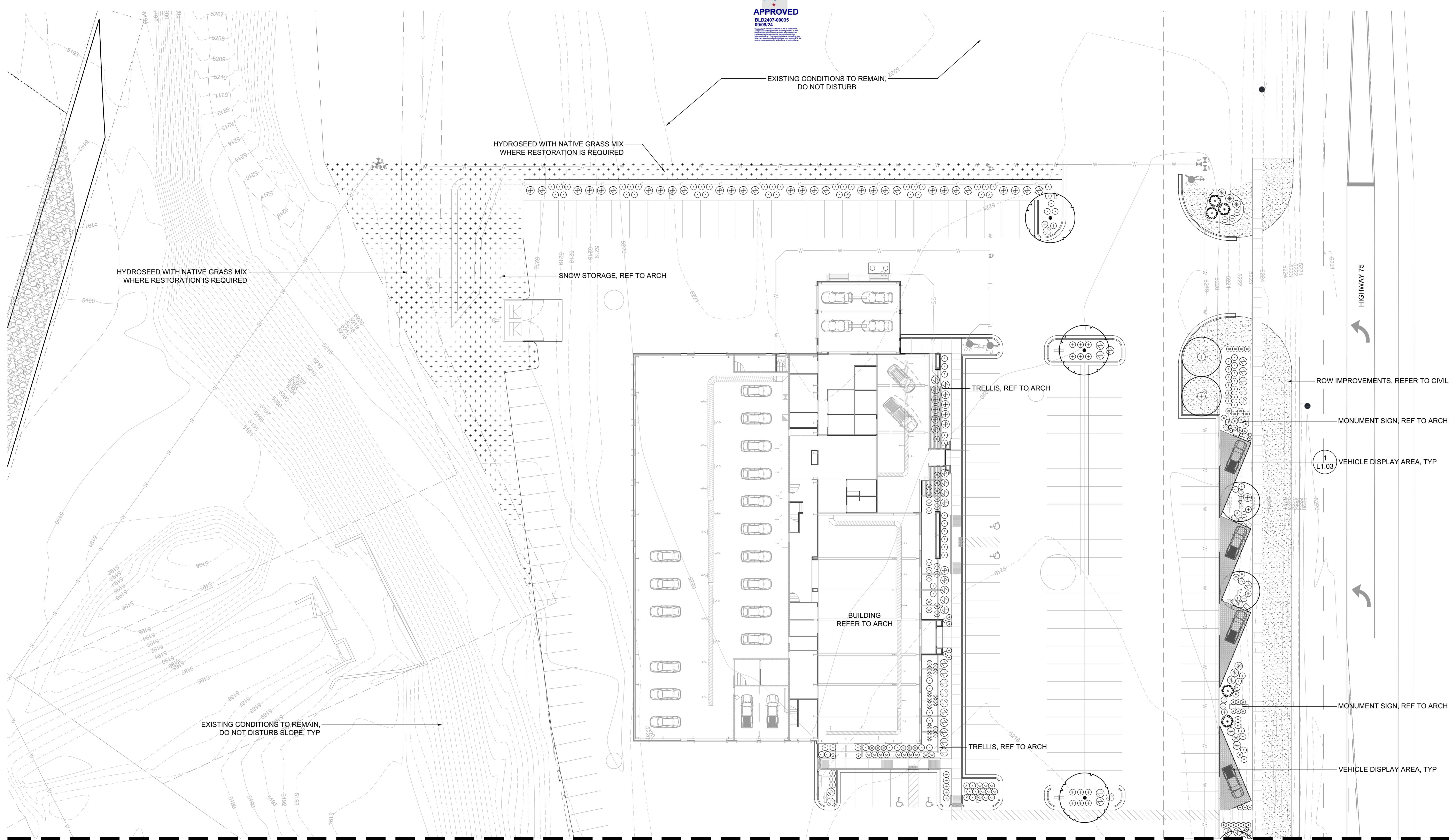


KARL MALONE FORD + POWERSPORTS STORE
SITE PLAN
 11948 STATE HIGHWAY 75, BELLEVUE, ID 83818

SHEET: **C-1**
 DATE: 11/12/2025
 PERMIT



APPROVED
BLD2407-00035
09/09/24



EXISTING CONDITIONS TO REMAIN,
DO NOT DISTURB

HYDROSEED WITH NATIVE GRASS MIX
WHERE RESTORATION IS REQUIRED

HYDROSEED WITH NATIVE GRASS MIX
WHERE RESTORATION IS REQUIRED

SNOW STORAGE, REF TO ARCH

TRELLIS, REF TO ARCH

BUILDING
REFER TO ARCH

TRELLIS, REF TO ARCH

HIGHWAY 75

ROW IMPROVEMENTS, REFER TO CIVIL

MONUMENT SIGN, REF TO ARCH

1
L1.03 VEHICLE DISPLAY AREA, TYP

MONUMENT SIGN, REF TO ARCH

VEHICLE DISPLAY AREA, TYP

EXISTING CONDITIONS TO REMAIN,
DO NOT DISTURB SLOPE, TYP

SEE L1.02



BUILDING PERMIT
SUBMITTAL

REVISIONS:
REV 1:
REV 2:
REV 3:

PROJECT ADDRESS:

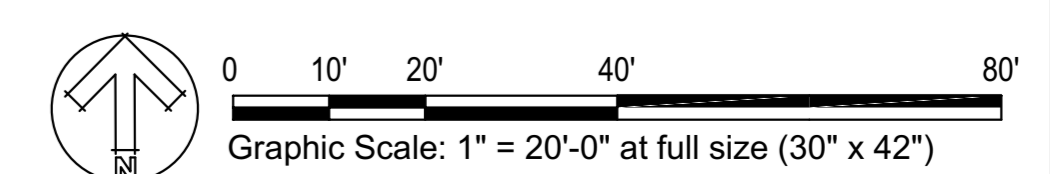
Karl Malone Powersports Store
Kirtley and Main Streets
Bellevue, Idaho

DESIGN: M.J.
DRAWN: M.J.
CHECKED: E.W.
DATE: November 28, 2023
PROJECT: KM Powersports
NUMBER: LLA0403.23
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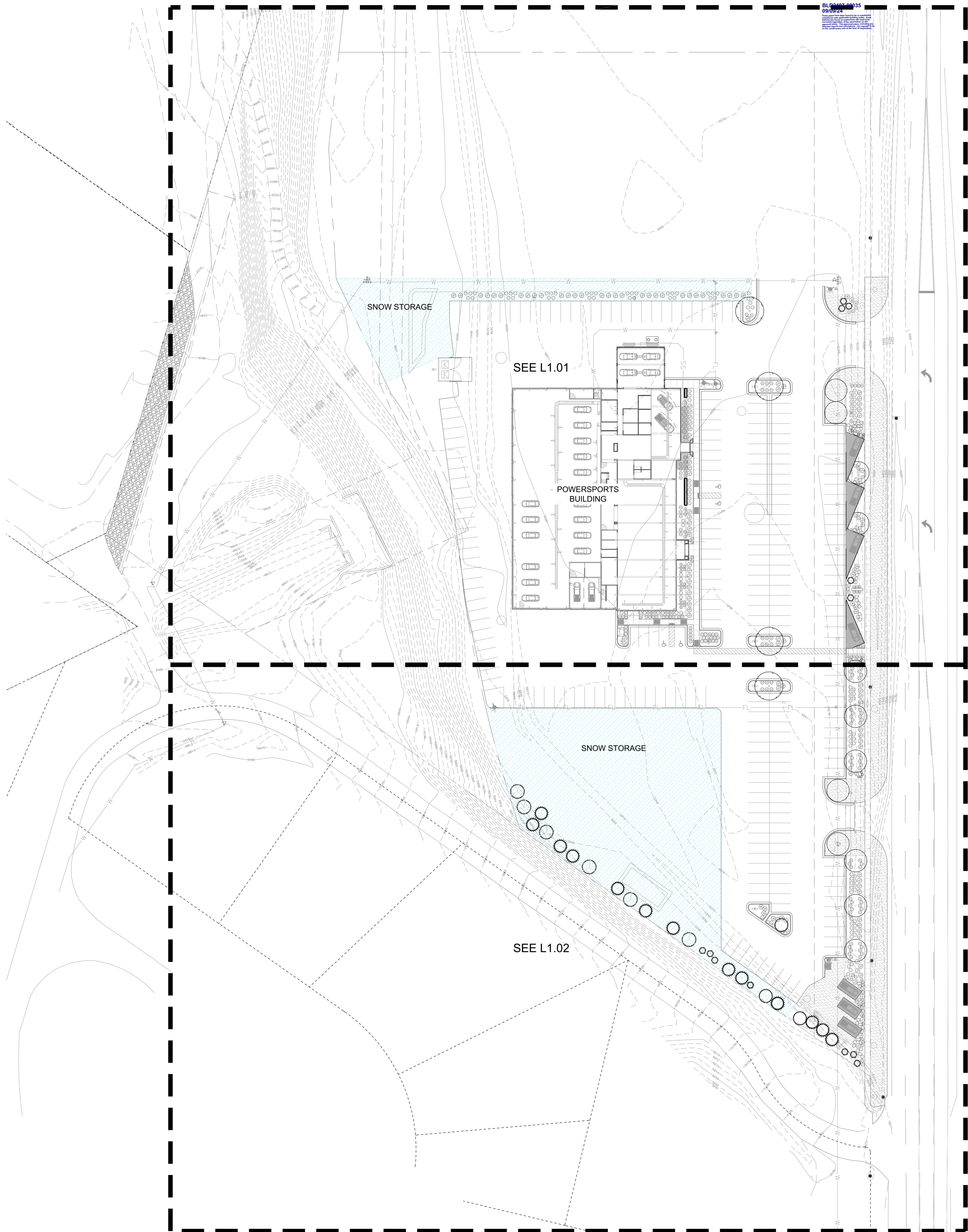
LANDSCAPE
PLAN
NORTH

SHEET:

L1.01



APPROVED
BY: [Signature]
DATE: 11/28/23



LYON
Landscape Architects, LLC
124 S Main Street, Ste B1, Hailey, ID 83333
255-209-4053 | Moghan@lyonLA.com



DRAWING SET:
**BUILDING PERMIT
SUBMITTAL**

REVISIONS:
REV 1:
REV 2:
REV 3:

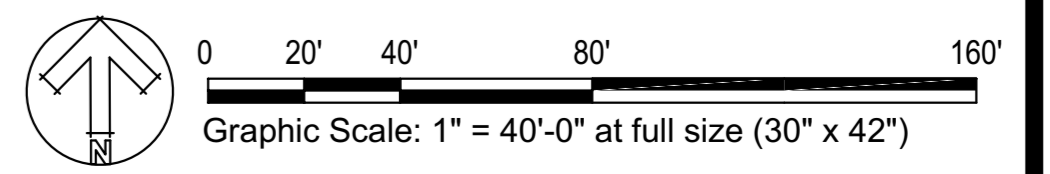
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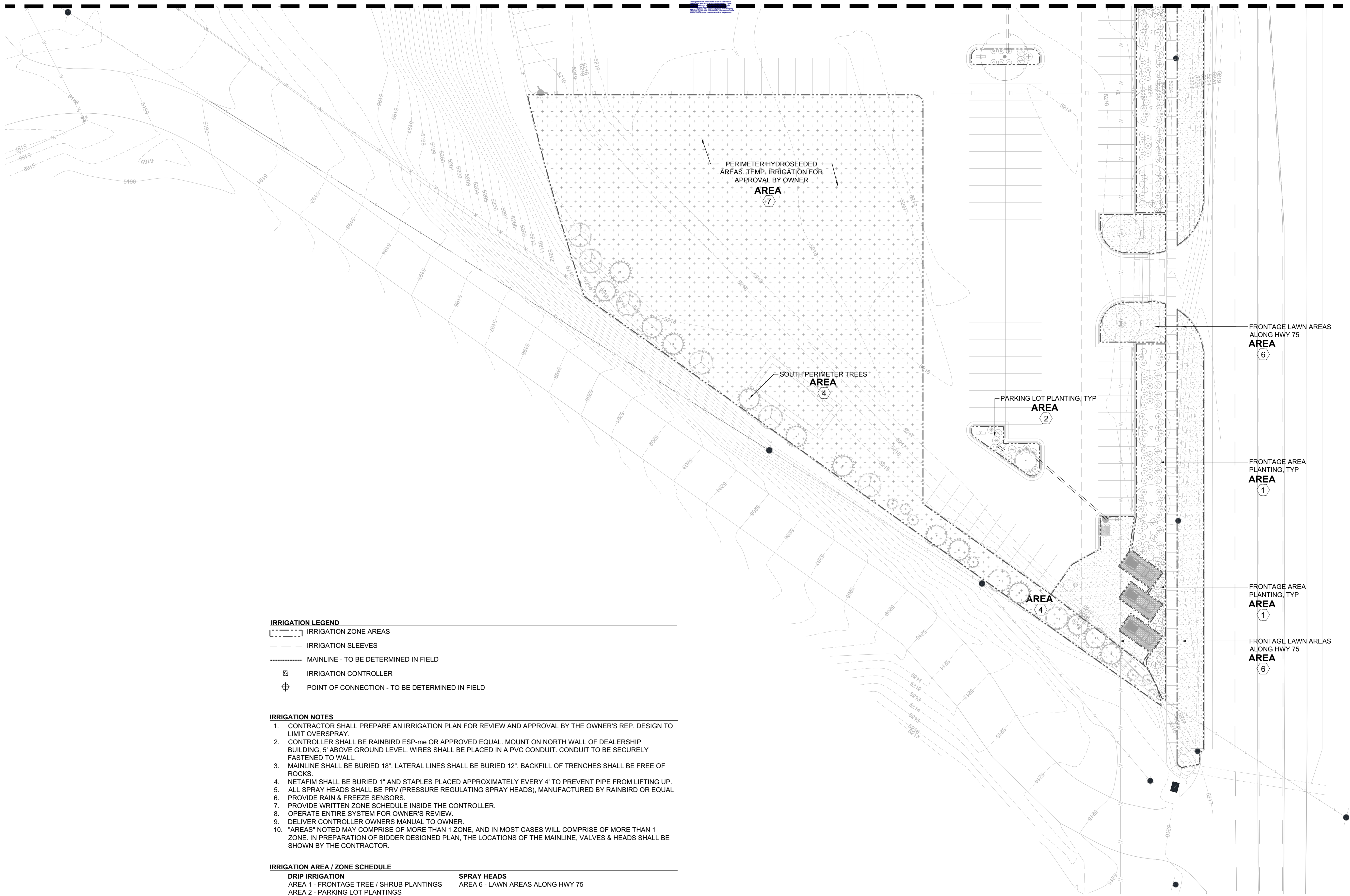
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Bellevue, Idaho

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NUMBER: LLA0403.23
SCALE: 1" = 40'-0"
TITLE:

**OVERALL
LANDSCAPE
PLAN**

SHEET:
L1.00





IRRIGATION LEGEND

- IRRIGATION ZONE AREAS
- == IRRIGATION SLEEVES
- MAINLINE - TO BE DETERMINED IN FIELD
- ⊠ IRRIGATION CONTROLLER
- ⊕ POINT OF CONNECTION - TO BE DETERMINED IN FIELD

IRRIGATION NOTES

1. CONTRACTOR SHALL PREPARE AN IRRIGATION PLAN FOR REVIEW AND APPROVAL BY THE OWNER'S REP. DESIGN TO LIMIT OVERSPRAY.
2. CONTROLLER SHALL BE RAINBIRD ESP-me OR APPROVED EQUAL. MOUNT ON NORTH WALL OF DEALERSHIP BUILDING, 5' ABOVE GROUND LEVEL. WIRES SHALL BE PLACED IN A PVC CONDUIT. CONDUIT TO BE SECURELY FASTENED TO WALL.
3. MAINLINE SHALL BE BURIED 18". LATERAL LINES SHALL BE BURIED 12". BACKFILL OF TRENCHES SHALL BE FREE OF ROCKS.
4. NETAFIM SHALL BE BURIED 1" AND STAPLES PLACED APPROXIMATELY EVERY 4' TO PREVENT PIPE FROM LIFTING UP.
5. ALL SPRAY HEADS SHALL BE PRV (PRESSURE REGULATING SPRAY HEADS), MANUFACTURED BY RAINBIRD OR EQUAL.
6. PROVIDE RAIN & FREEZE SENSORS.
7. PROVIDE WRITTEN ZONE SCHEDULE INSIDE THE CONTROLLER.
8. OPERATE ENTIRE SYSTEM FOR OWNER'S REVIEW.
9. DELIVER CONTROLLER OWNERS MANUAL TO OWNER.
10. "AREAS" NOTED MAY COMPRISE OF MORE THAN 1 ZONE, AND IN MOST CASES WILL COMPRISE OF MORE THAN 1 ZONE. IN PREPARATION OF BIDDER DESIGNED PLAN, THE LOCATIONS OF THE MAINLINE, VALVES & HEADS SHALL BE SHOWN BY THE CONTRACTOR.

IRRIGATION AREA / ZONE SCHEDULE

DRIP IRRIGATION	SPRAY HEADS
AREA 1 - FRONTAGE TREE / SHRUB PLANTINGS	AREA 6 - LAWN AREAS ALONG HWY 75
AREA 2 - PARKING LOT PLANTINGS	
AREA 3 - BUILDING PERIMETER PLANTINGS	TEMPORARY / LONG THROW SPRAY HEADS (if needed)
AREA 4 - SOUTH PERIMETER TREES	AREA 7 - AREAS OUTSIDE PARKING AREA
AREA 5 - NORTH PERIMETER SHRUB PLANTINGS	REQUIRING TEMP IRRIGATION FOR
	ESTABLISHMENT OF HYDROSEED MIX
	CONFIRM TEMPORARY OR LONG THROW HEADS
	WITH OWNER



DRAWING SET:
BUILDING PERMIT SUBMITTAL

REVISIONS:
 REV 1:
 REV 2:
 REV 3:

PROJECT ADDRESS:

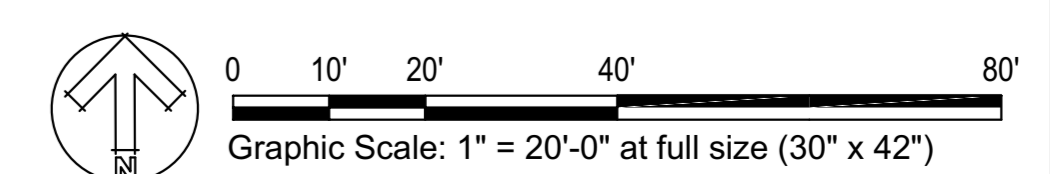
Karl Malone Powersports Store
 Kirtley and Main Streets
 Bellevue, Idaho

DESIGN: M.J.
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 CHECKED: EW
 DATE: November 28, 2023
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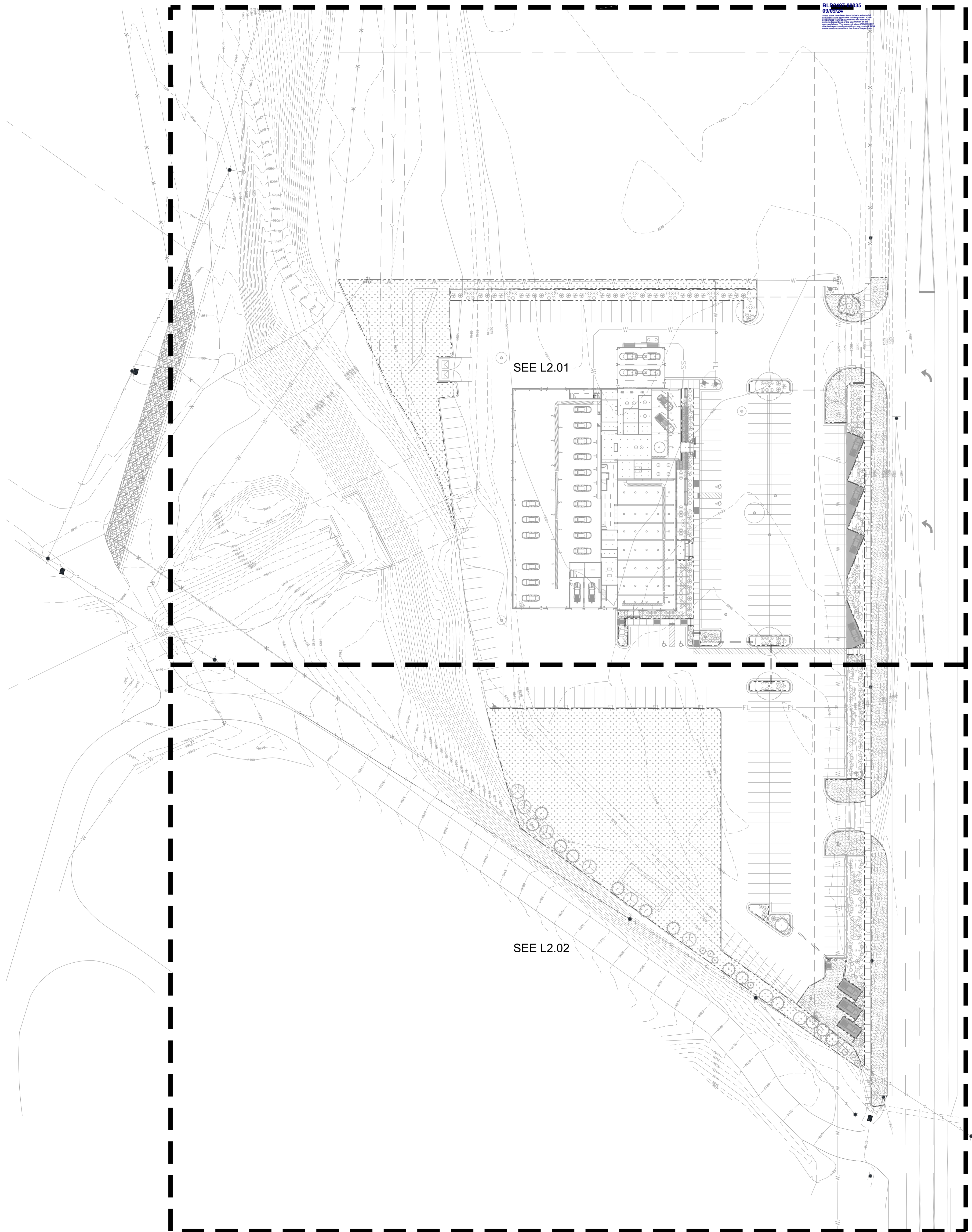
IRRIGATION PLAN SOUTH

SHEET:

L2.02



APPROVED
BY: [Signature]
DATE: 11/28/23



DRAWING SET:
**BUILDING PERMIT
SUBMITTAL**

REVISIONS:
REV 1:
REV 2:
REV 3:

PROJECT ADDRESS:

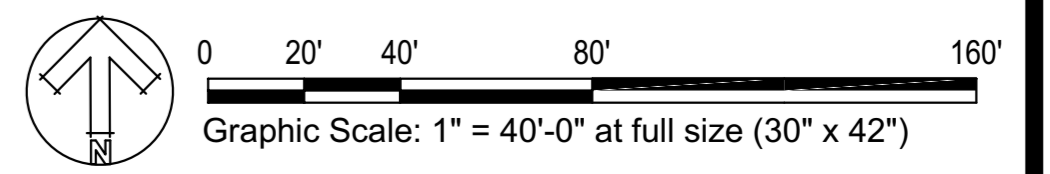
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Bellevue, Idaho

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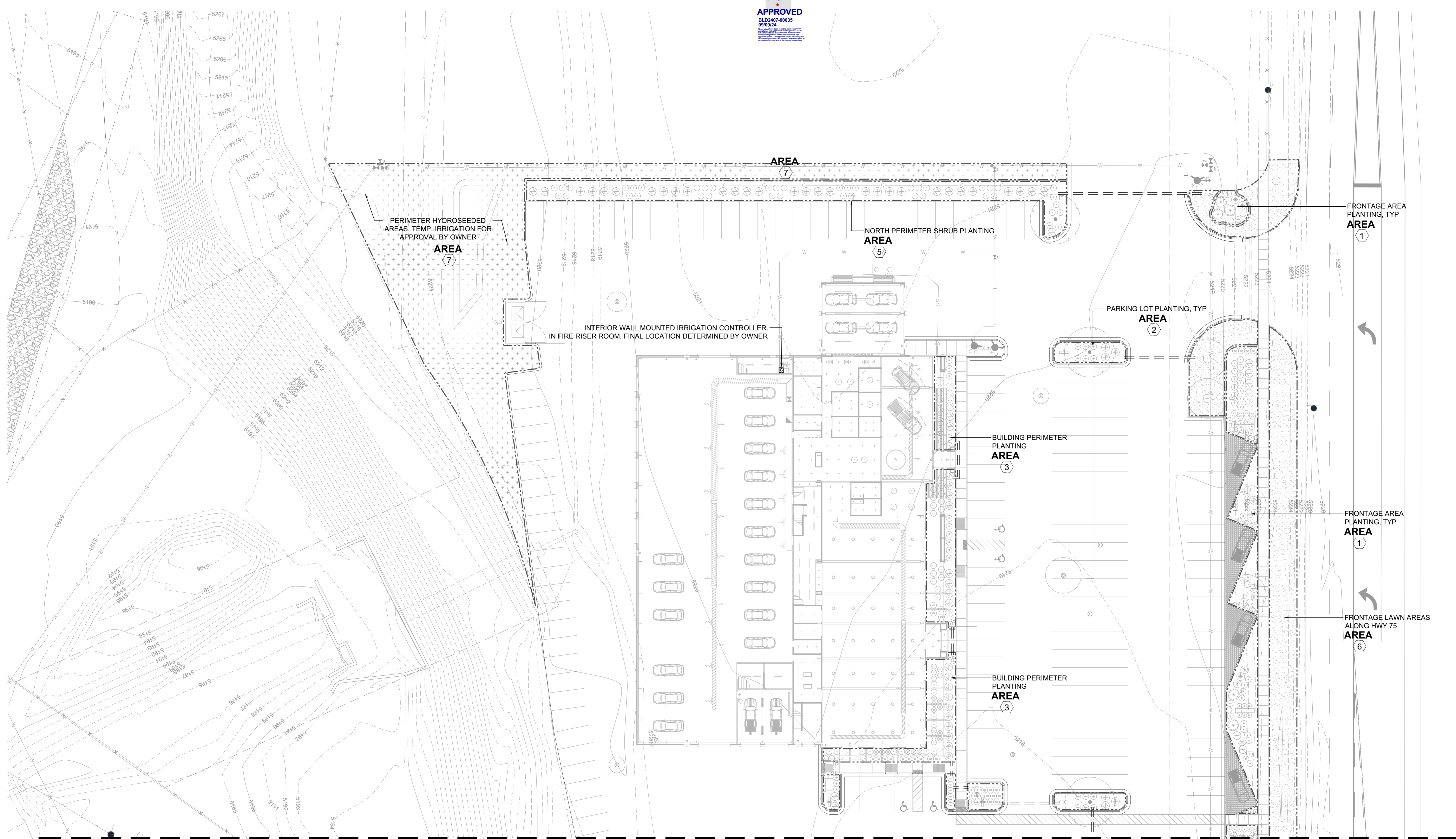
**OVERALL
IRRIGATION
PLAN**

SHEET:

L2.00



APPROVED
BLD2407-00035
09/09/24



SEE L2.02



DRAWING SET:
**BUILDING PERMIT
SUBMITTAL**

REVISIONS:
REV 1:
REV 2:
REV 3:

PROJECT ADDRESS:

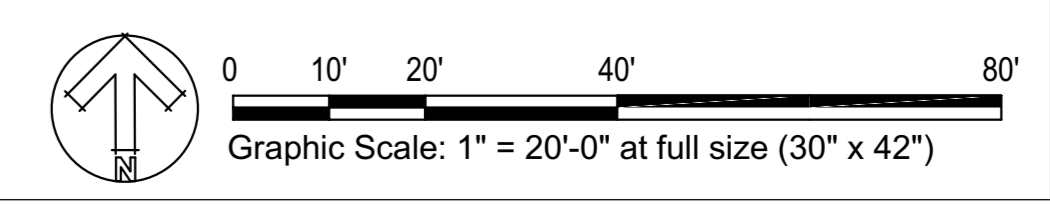
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SCALE: 1" = 20'-0"
TITLE:

**IRRIGATION
PLAN
NORTH**

SHEET:

L2.01





TREES / DECIDUOUS



ROYAL RAINDROP CRABAPPLE



SPRING SNOW CRABAPPLE



PRAIRIE SILK HONEYLOCUST



GINNALA FLAME MAPLE

TREES / EVERGREEN



MUGO PINE



WICHITA BLUE JUNIPER



VANDERWOLF PYRAMID PINE

SHRUBS



SLOWMOUND DWARF MUGO PINE



BIRCH-LEAF SPIREA



MAGIC CARPET SPIREA



BARBERRY ORANGE ROCKET



ARCTIC WILLOW



GOLDFINGER POTENTILLA

GROUNDCOVERS / ORNAMENTAL GRASSES



KARL FOERSTER GRASS



BLUE OAT GRASS



SALVIA MAY NIGHT



SCOTTISH LINKS GRASS MIX



IDAHO NATIVE GRASS MIX



Know what's below. Call before you dig.

DRAWING SET:

BUILDING PERMIT SUBMITTAL

REVISIONS: REV 1: REV 2: REV 3:

PROJECT ADDRESS:

Karl Malone Powersports Store Kirtley and Main Streets Bellevue, Idaho

DESIGN: M.J. DRAWN: M.J. CHECKED: EW

DATE: November 28, 2023

PROJECT: KM Powersports

NUMBER: LLA0403.23

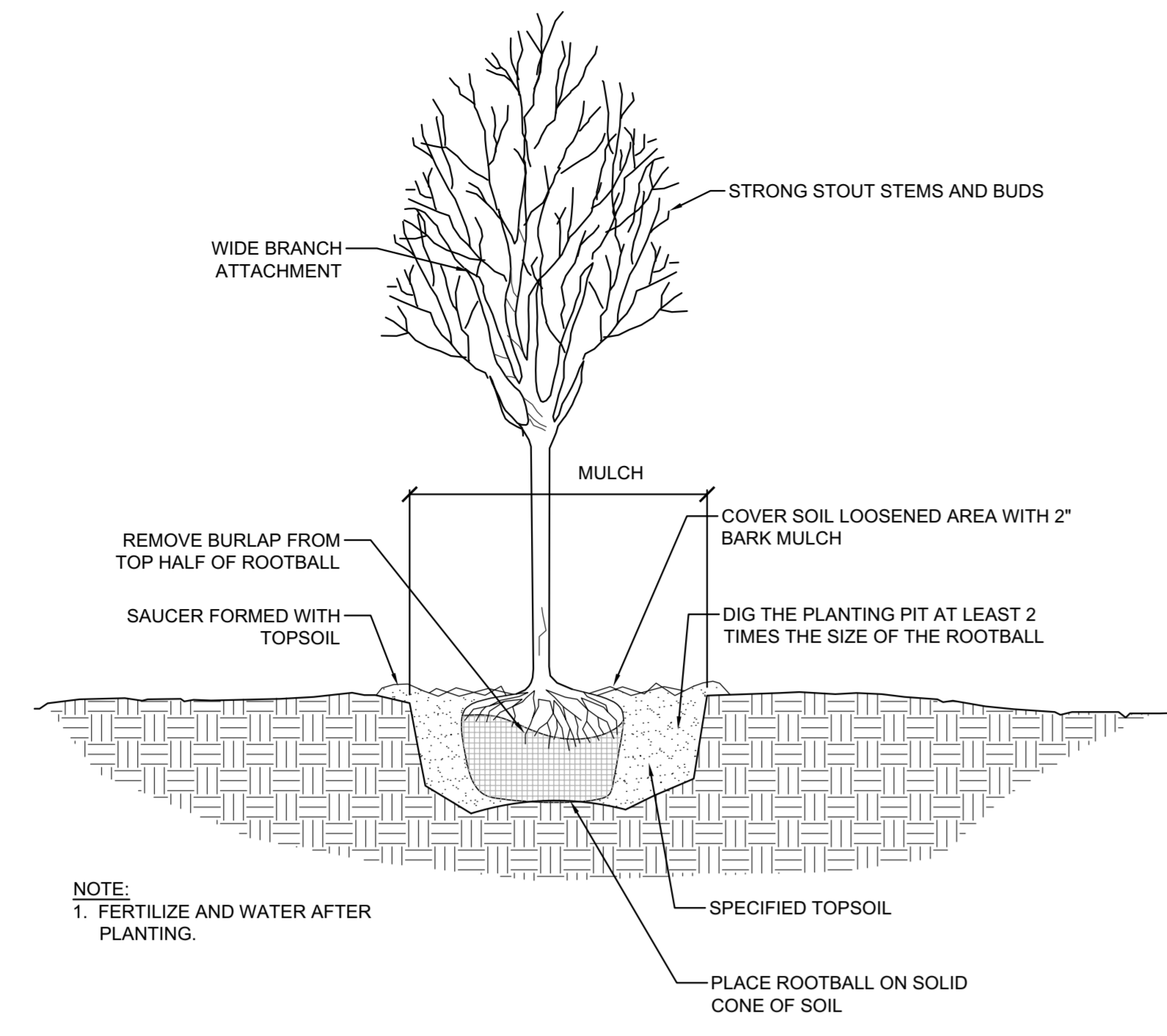
SCALE: As Shown

TITLE:

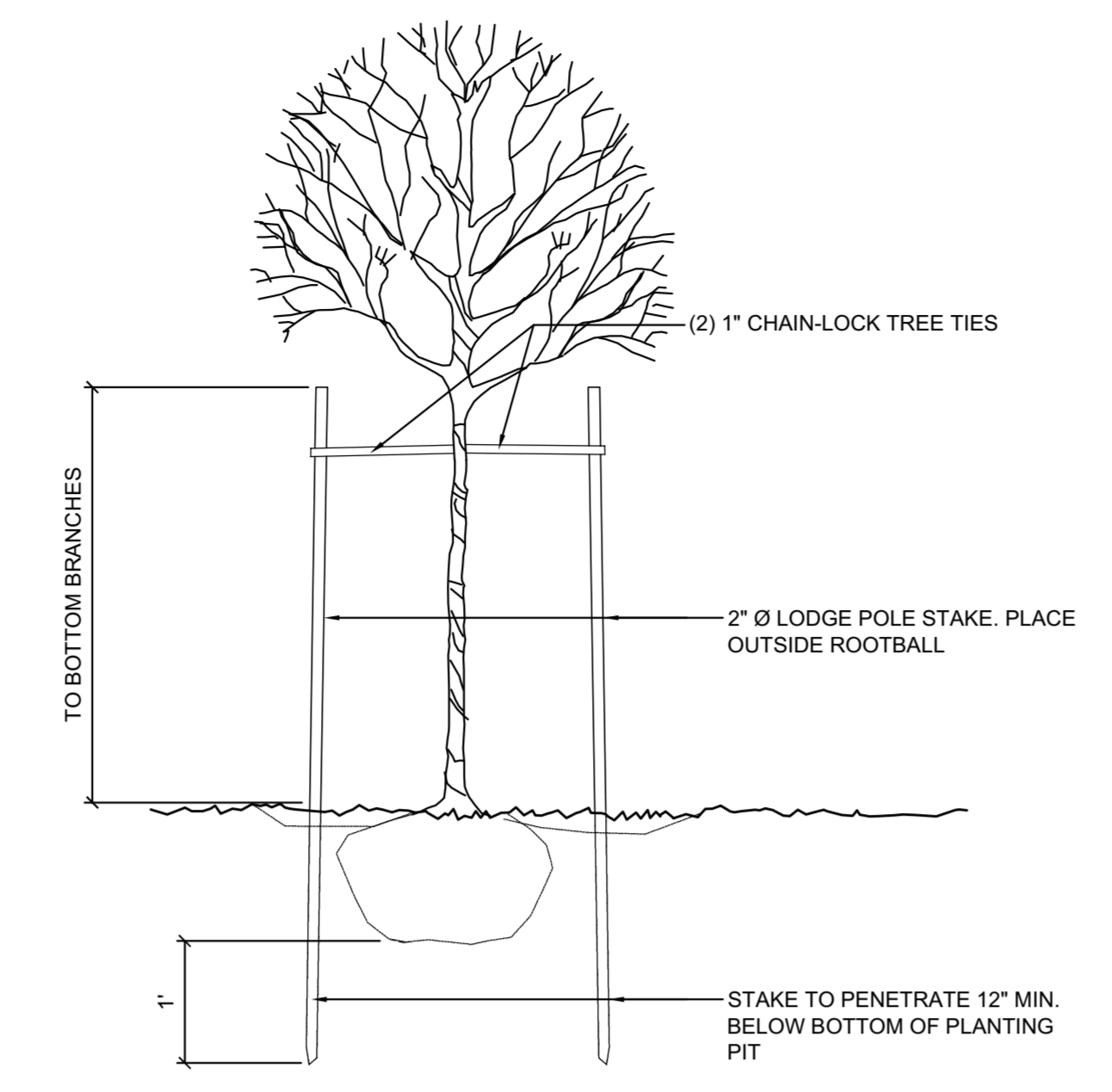
PLANT IMAGES

SHEET:

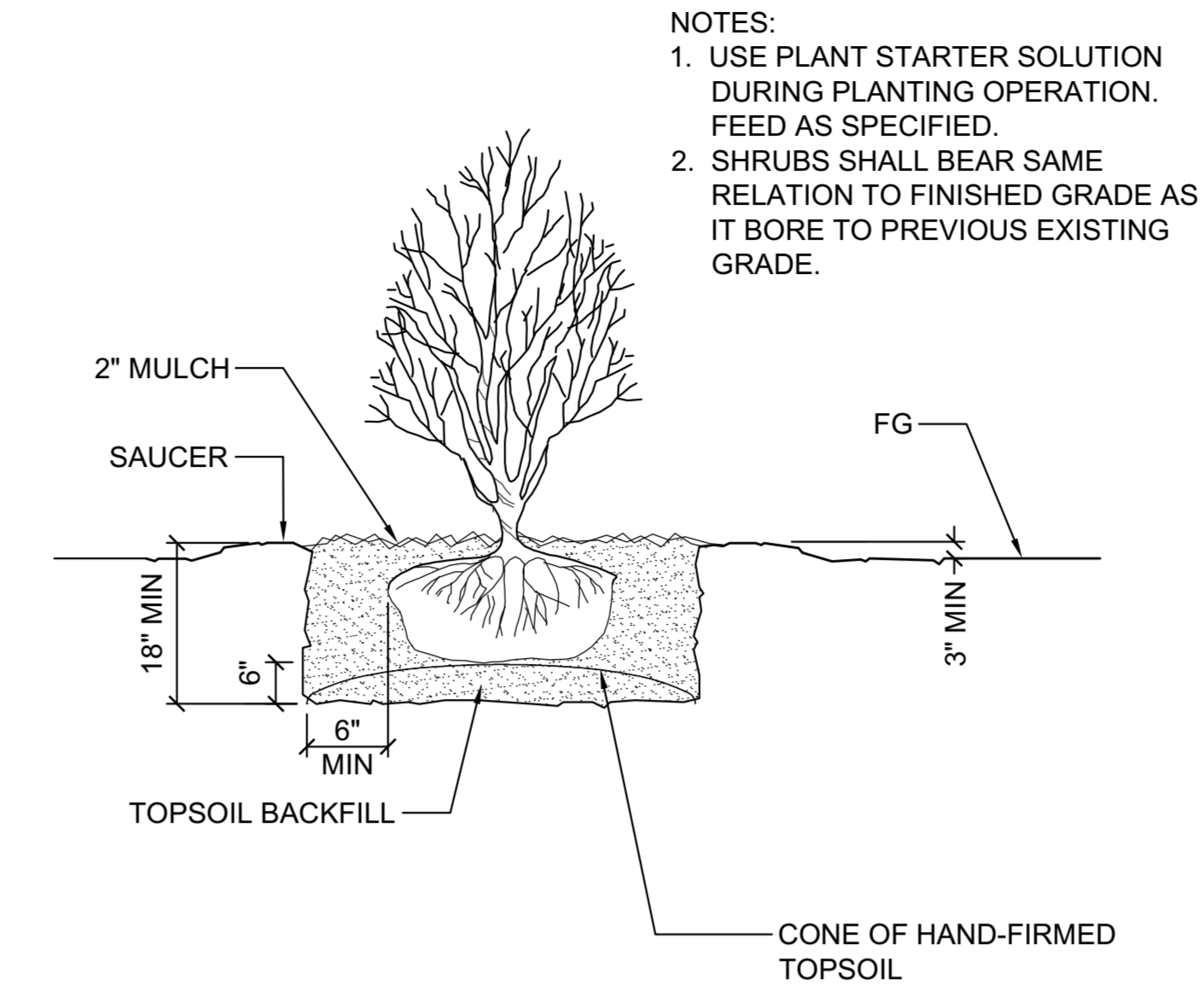
L1.05



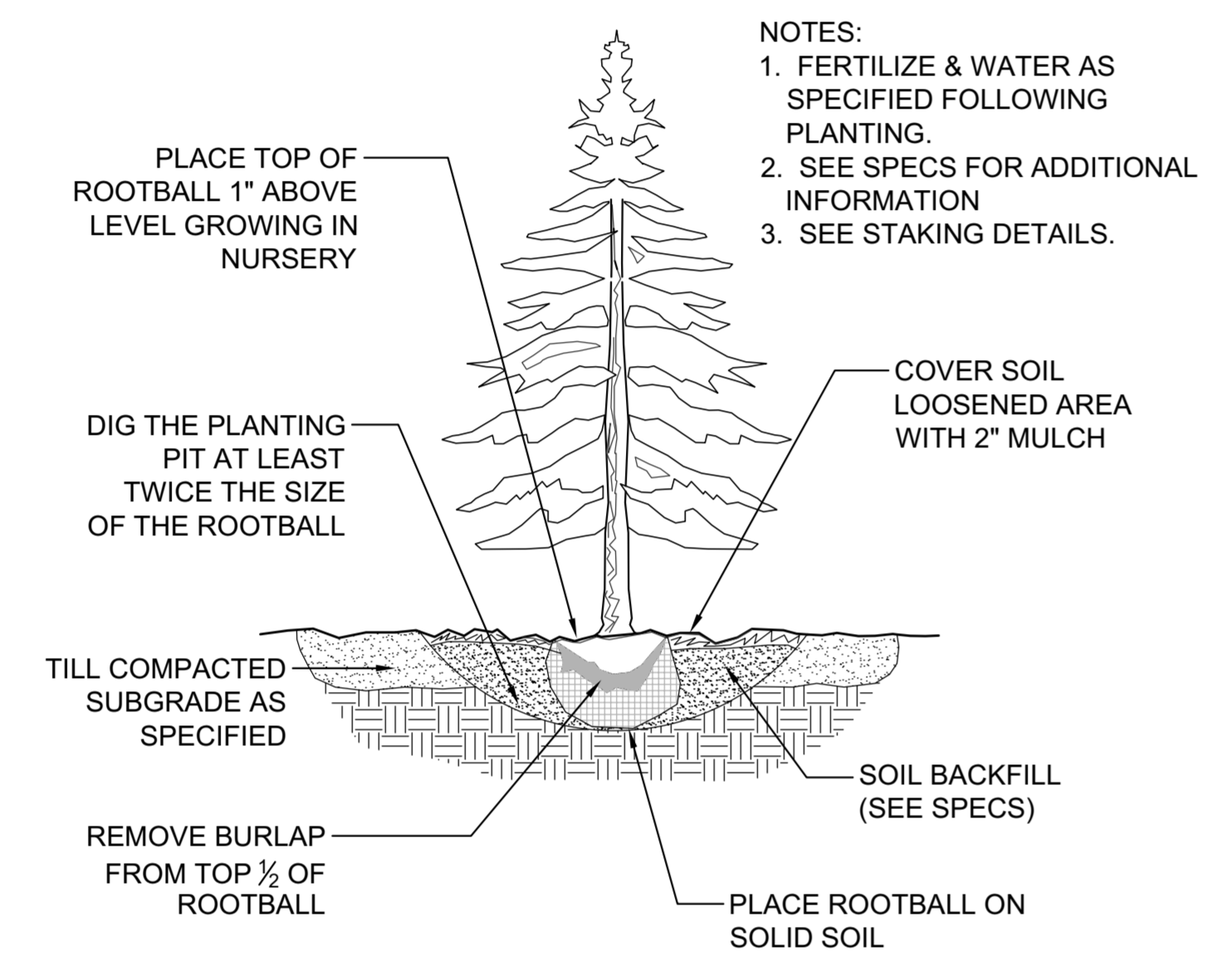
1 TREE PLANTING DETAIL
 SCALE: NTS



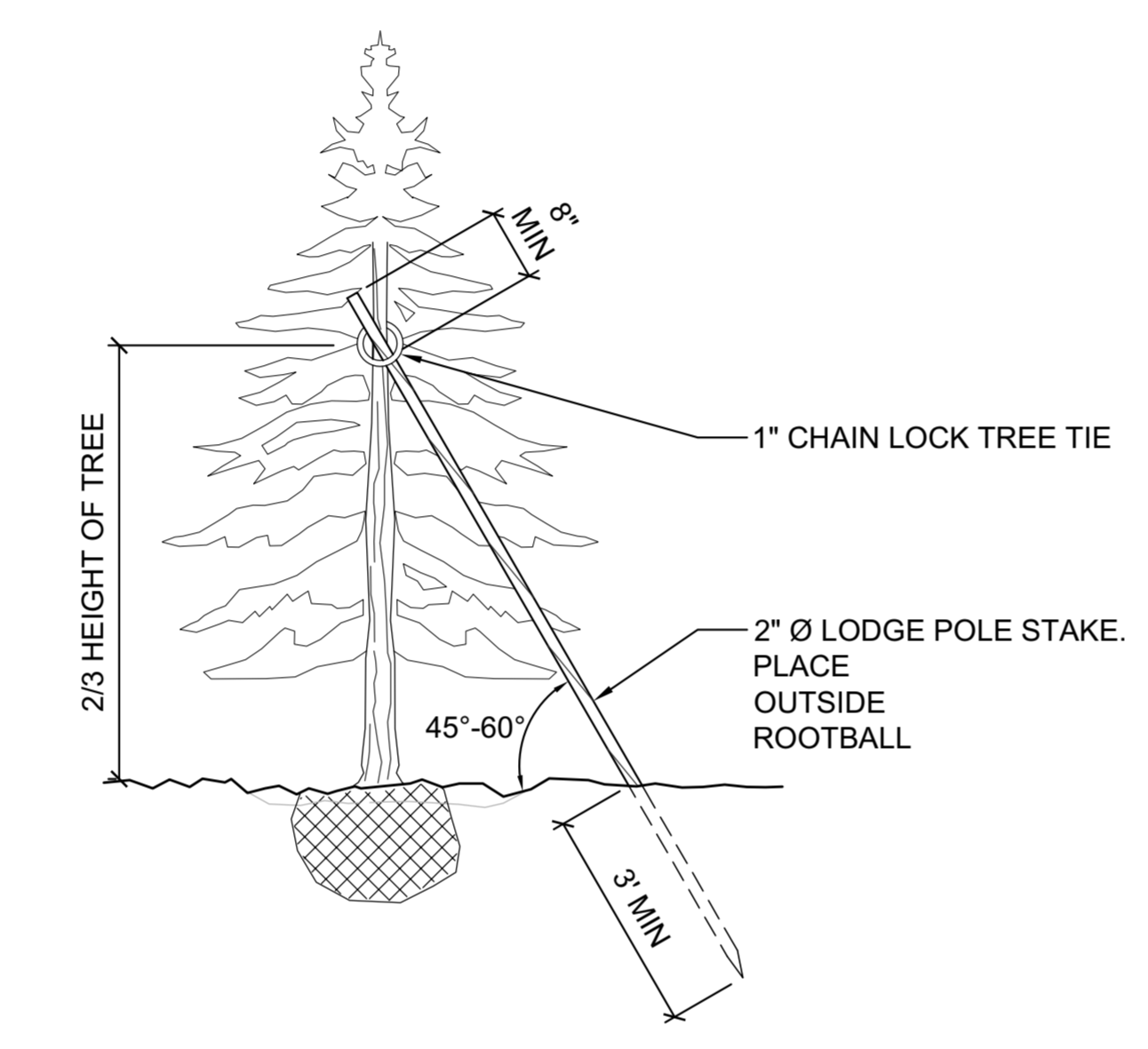
2 DECIDUOUS TREE STAKING DETAIL
 SCALE: NTS



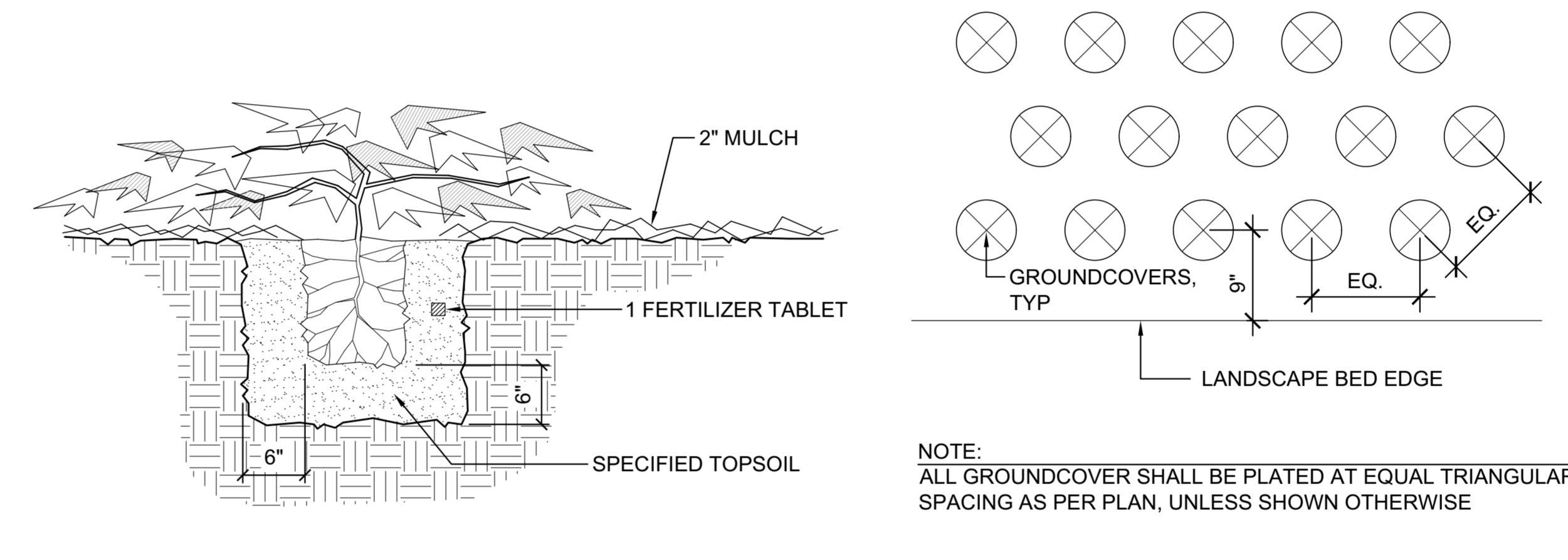
3 SHRUB / GRASS PLANTING DETAIL
 SCALE: NTS



4 CONIFER PLANTING DETAIL
 SCALE: NTS



5 CONIFER TREE STAKING
 SCALE: NTS



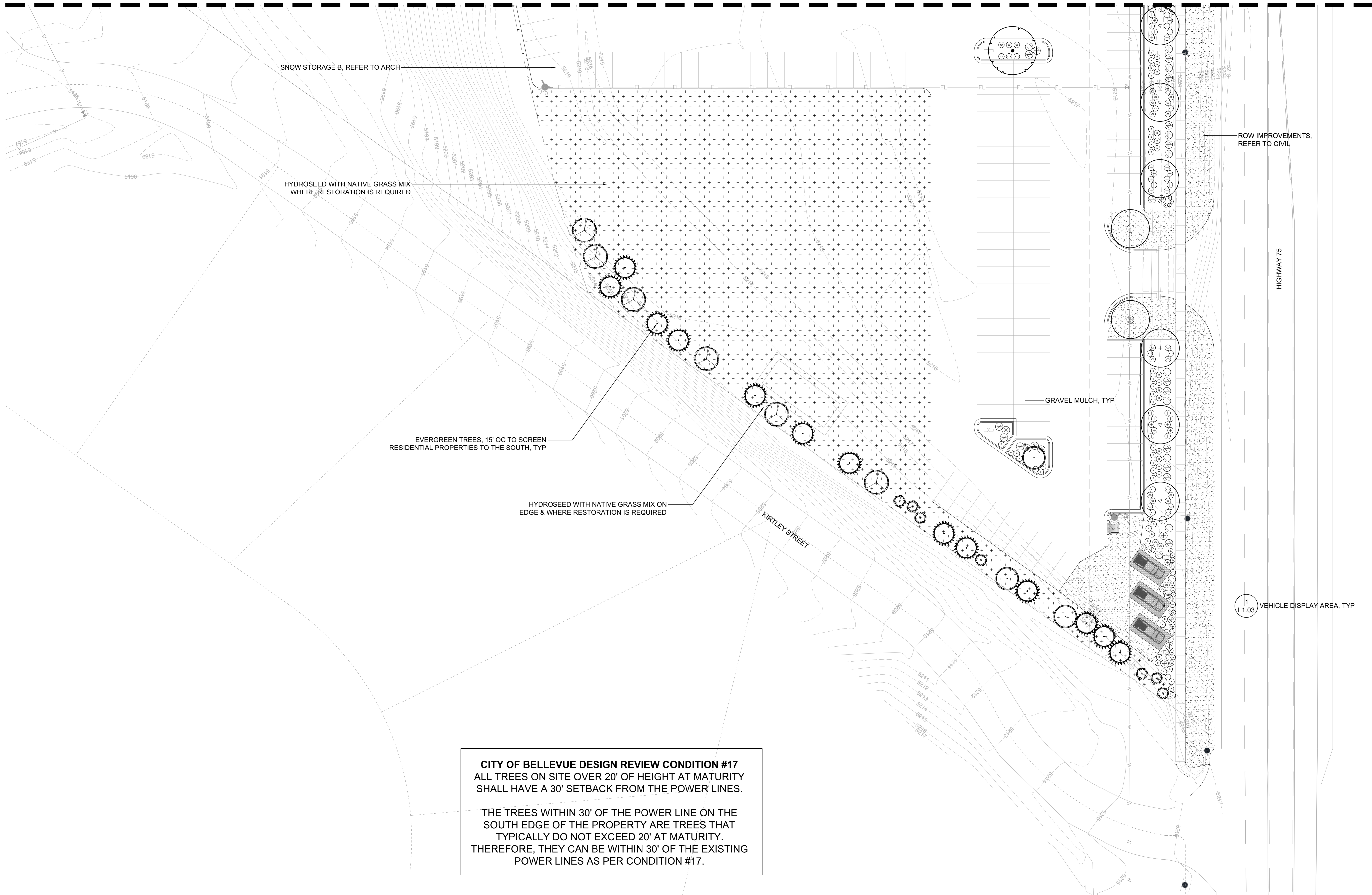
6 GROUNDCOVER / PERENNIAL PLANTING DETAIL
 SCALE: NTS

NOTES:
 1. USE PLANT STARTER SOLUTION DURING PLANTING OPERATION. FEED AS SPECIFIED.
 2. SHRUBS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.

NOTE:
 ALL GROUNDCOVER SHALL BE PLATED AT EQUAL TRIANGULAR SPACING AS PER PLAN, UNLESS SHOWN OTHERWISE



SEE L1.01



CITY OF BELLEVUE DESIGN REVIEW CONDITION #17
 ALL TREES ON SITE OVER 20' OF HEIGHT AT MATURITY SHALL HAVE A 30' SETBACK FROM THE POWER LINES.

THE TREES WITHIN 30' OF THE POWER LINE ON THE SOUTH EDGE OF THE PROPERTY ARE TREES THAT TYPICALLY DO NOT EXCEED 20' AT MATURITY. THEREFORE, THEY CAN BE WITHIN 30' OF THE EXISTING POWER LINES AS PER CONDITION #17.



DRAWING SET:
BUILDING PERMIT SUBMITTAL

REVISIONS:
REV 1:
REV 2:
REV 3:

PROJECT ADDRESS:

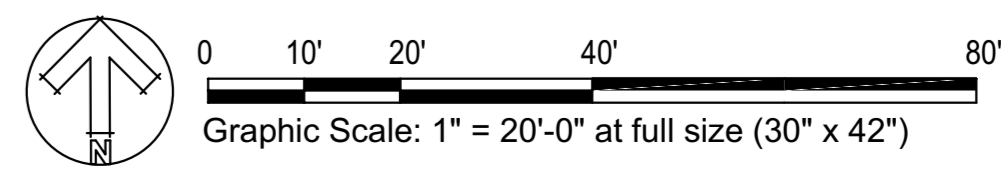
Karl Malone Powersports Store
Kirtley and Main Streets
Bellevue, Idaho

DESIGN: M.J.
DRAWN: M.J.
CHECKED: EW
DATE: November 28, 2023
PROJECT: KM Powersports
NUMBER: LLA0403.23
SCALE: 1" = 20'-0"
TITLE:

LANDSCAPE PLAN SOUTH

SHEET:

L1.02



LANDSCAPE REQUIREMENTS

- Snow Storage Refer to Architectural Drawings
- Landscape Area Total Undisturbed & Land. Area / Proj. Site = 179,079sf / 317,117sf = 56% Undisturbed & Land. Area
- Street Frontage (10-17-4.3.f) 680 LF of Street Frontage Improvements
680 LF / 35 LF per Tree = 19 Street Trees Required
20 Street Trees Proposed
50% of Street Frontage shall be landscaped with 20+ parking spaces
90 LF of 680 LF proposed as entry drive
(680 - 90) / 680 = 87% of Street Frontage proposed to be landscaped
- Parking Area(10-17-5.C.8) 10% of parking area of parking lots with 20+ spaces shall be landscaped with islands & dividers
43,081 sf of parking area within parking lots
5,312 sf of landscape islands and dividers
5,312 / 43,081 = 12% of parking area is proposed to be landscaped
- Drainage Refer to Civil Drawings
- Walls and Fences No Site Walls or Fences
- Irrigation System Irrigation System shall be Bidder Design. Refer to L2.xx drawings
Irrigation System shall use an automatic rain sensing controller providing complete coverage to all vegetation
Irrigation System shall use a drip system for all plant areas except lawn areas. Lawn shall be covered by spray heads

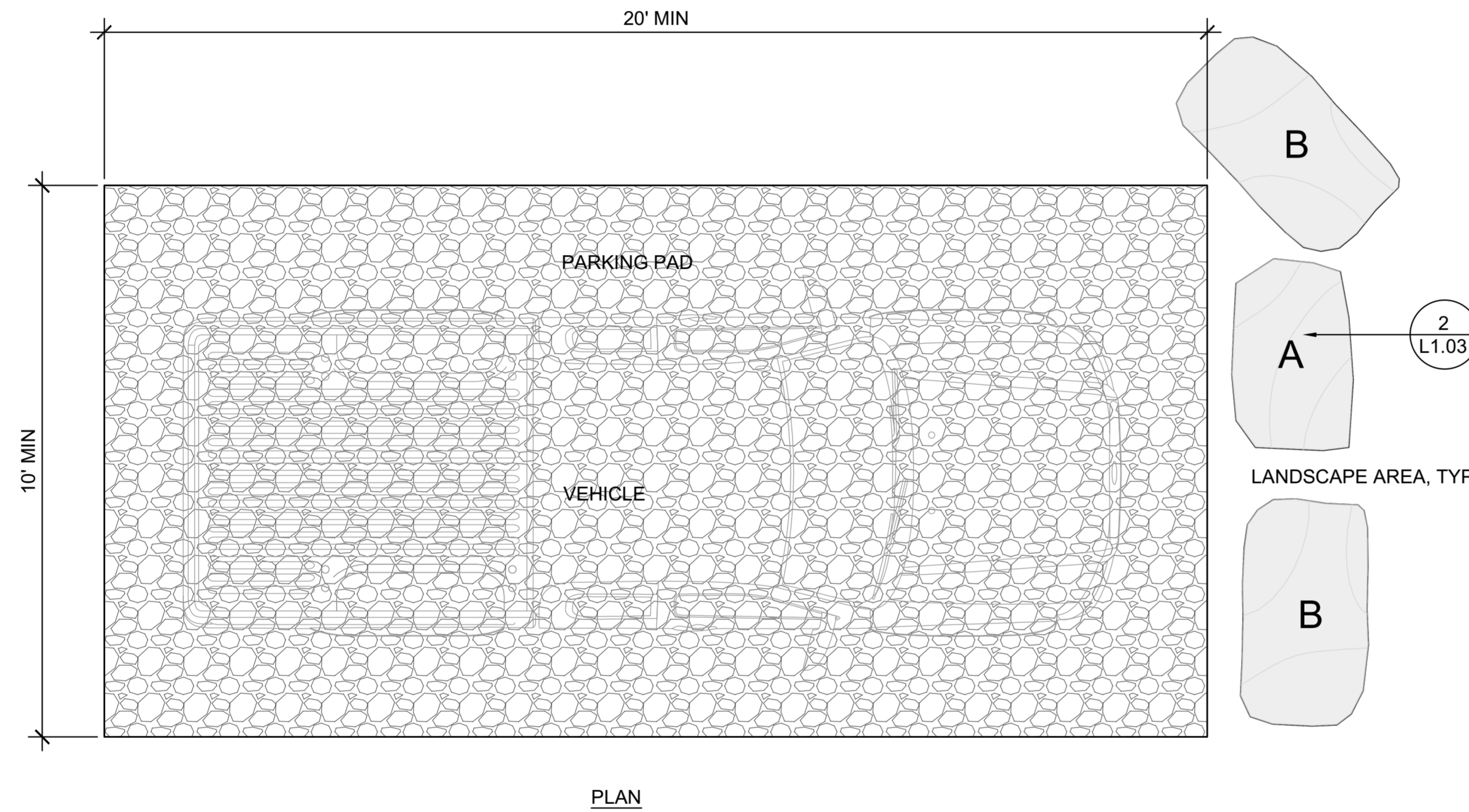
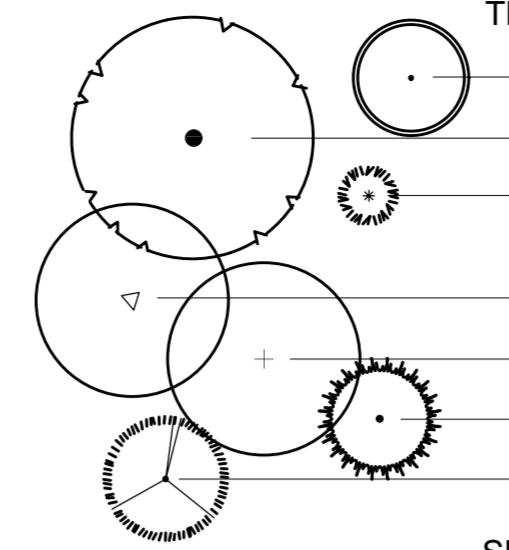
LANDSCAPE SPECIFICATIONS & NOTES

- SCOPE OF WORK
a. The landscaping and irrigation work is part of a larger site project resulting in disturbance to the site, landscape and irrigation. As such, the landscape contractor shall coordinate all work with the general contractor, both before any construction begins, and during the course of construction.
- MATERIALS
a. Topsoil. Topsoil shall be Winn's Compost 50:50 or 40:60 Soil to Compost Mix. Winn's Compost 208-309-2525
b. Mulch. Mulch shall be a 1/2" - 1" crushed stone in white, light gray and tan colors, applied to a min. 2" depth on all landscape planting beds excluding lawn and hydroseeded areas. Mulch color samples to be approved by architect and/or owner.
c. Filter Fabric. Filter Fabric shall be laid between new topsoil layer and crushed stone mulch layer in all planting beds excluding lawn and hydroseeded areas.
d. Fertilizer. Agraform 21-gram tablet time release fertilizer shall be used in all plantings. Place 1 for each ground cover, 2 for each shrub and 4 for each tree. They shall be placed in the plant pits as detailed. Also, top dress all plants with a suitable 'starter' fertilizer.
e. Tree Stakes. Tree stakes shall be 2" diameter x 8' length Lodgepole pine. Fasteners shall be 1" PVC Chain-Lock, placed as detailed.
f. Edging. Steel Edging shall be used to separate planting areas from mulch and hydroseeded and lawn areas. A steel edging material shall be used with a minimum depth of 4" throughout
- SOIL PREPARATION
a. Prior to any landscape work, contractor shall remove, or have removed, all debris from the other building trades from the landscape surfaces. NO landscape work shall commence until the areas are cleared of other trades debris.
b. Cultivate the existing ground surface to a minimum depth of 8" and remove all rocks over 2", existing roots and other debris.
c. Fine grade the subgrade to adjoining surfaces in preparation of adding specified topsoil.
d. Beds. Place a minimum of 8" of specified topsoil on all beds and till or cultivate the topsoil a minimum depth of 12". Remove all rock and debris which may surface. Finished grade of topsoil shall be 2.5" below adjoining paved surfaces, allowing 2" for mulch. Therefore, finished grade shall be 1/2" below paved surface.
- PLANTING OF TREES, SHRUBS AND GROUNDCOVERS
a. Contractor responsible to verify quantities.
e. Contractor is to confirm that all beds are prepared and ready for planting, without interference with other trades.
c. Layout all plants as per plan and approval by Landscape Architect or Owner's Rep, making sure the plants are orientated to give best appearance to the viewer.
d. Pit plant all plants into prepared soil and plant per the details. While planting, hand water the plants into the plant pits thoroughly soaking the root balls and soil. Place fertilizer tablets as specified, filling plant pits with specified topsoil. Top dress fertilize when completed.
e. Trees planted 5' or less from paved surfaces shall be planted with a root barrier control.
- PLANTING OF STREET TREES
a. Planted Street trees shall be 3" caliper and planted in spring or fall
b. Root Barriers shall be provided for all street trees
- WARRANTY
a. All landscaping shall be warranted for one year from FINAL ACCEPTANCE. Plants requiring replacement shall be of the original variety and size as specified herein.
- IRRIGATION
a. An automatic irrigation system using drip irrigation to be installed through Bidder Design
b. The irrigation system to provide complete coverage and to be properly zoned for each hydrozone.
c. Contractor to confirm location of controller with owner.
d. Contractor to confirm acceptable pressure for Irrigation System
e. Contractor to provide Coverage Test for approval by Landscape Architect or Owner.
f. Contractor to schedule controller and provide instruction manual to owner at completion.



PLANT SCHEDULE

QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING, NOTES
TREES			
3	Acer ginnala 'Flame'	Flame Ginnala Maple	1.5" cal, full & uniform branching, B&B
4	Gleditsia triacanthos 'Prairie Silk'	Prairie Silk Honeylocust	2" cal, full and uniform branching, straight trunk, B&B
13	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	6'-8" ht, 8' OC, full and uniform branching
6	Malus 'Spring Snow'	Spring Snow Crabapple	3" cal, full and uniform branching, straight trunk, B&B
6	Malus 'Royal Raindrop'	Royal Raindrop Crabapple	3" cal, full and uniform branching, straight trunk, B&B
14	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Limber Pine	6'-8" ht, full and uniform branching, B&B
6	Pinus mugo	Mugo Pine	6'-8" ht, full and uniform branching, B&B
SHRUBS			
21	Berberis thunbergii 'Orange Rocket'	Orange Rocket Barberry	1 gal @ 3' OC
109	Pinus mugo 'Slowmound'	Slowmound Dwarf Mugo Pine	3 gal @ 5' OC
16	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	3 gal @ 4' OC
64	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	3 gal @ 3' OC
88	Spiraea japonica 'Walburna'	Magic Carpet Spirea	3 gal @ 3' OC
PERENNIALS & GRASSES			
59	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Grass	2 gal @ 3' OC
101	Helictotrichon sempervirens	Blue Oat Grass	1 gal @ 3' OC
12	Rudbeckia hirta	Black-eyed Susan	4" pots @ 18" OC
37	Salvia x sylvestris 'May Night'	May Night Sage	4" pot @ 30" OC
	Grass Seed Mix	Scottish Links Seed Mix	14,000 sf. Confirm Quantities. Ref.to Mfg installation recommendation. Webb Nursery 208-788-2066
	Grass Seed Mix	ITD Roadside Seed Mix	47,000 sf. Confirm Quantities. Ref.to Mfg installation recommendation. ITD Certified Road Mix. Webb Nursery 208-788-2066

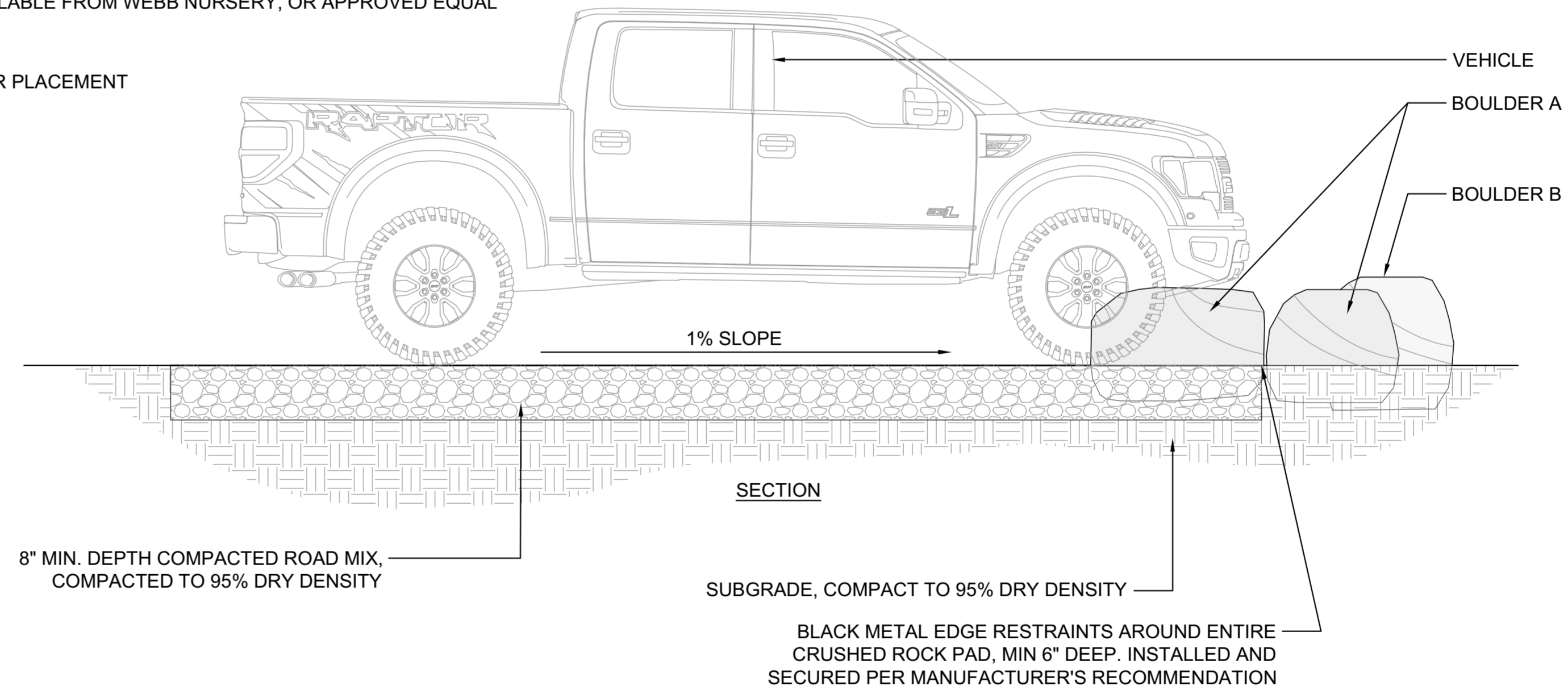


BOULDER LEGEND PER PAD
REFER TO PLAN FOR BOULDER PLACEMENT

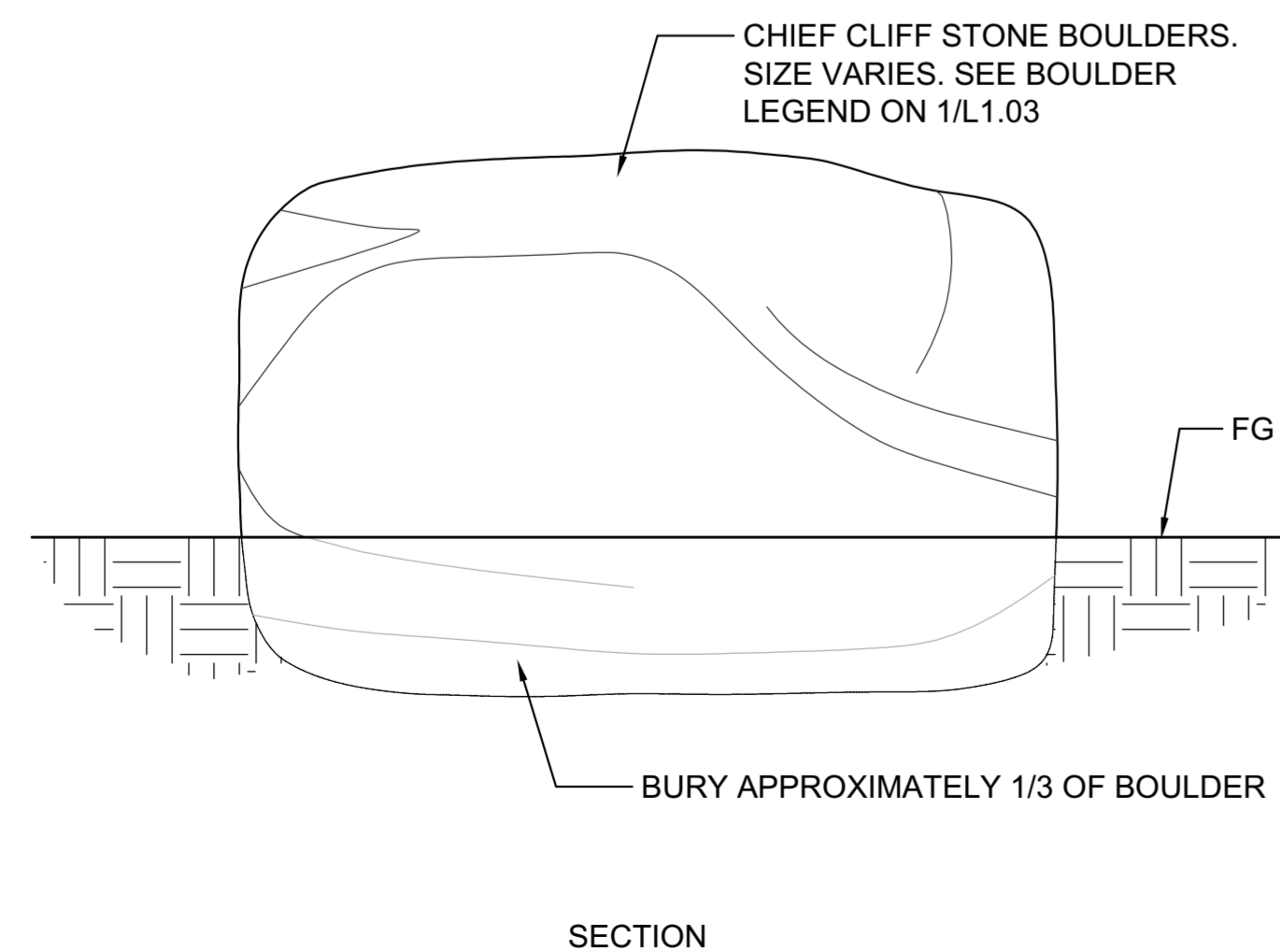
- A 24" x 36" CHIEF CLIFF BOULDERS
- B 36" x 42" CHIEF CLIFF BOULDERS

BURY BOTTOM 1/3 OF BOULDERS, TYP. REFER TO 2/L1.03

*SIZES AND LOCATIONS APPROX. APPROVAL BY ARCHITECT / OWNER AVAILABLE FROM WEBB NURSERY, OR APPROVED EQUAL



1 VEHICLE DISPLAY AREA DETAIL
SCALE: 1/2" = 1'-0"



2 BOULDER PLACEMENT DETAIL
SCALE: 1 1/2" = 1'-0"



DRAWING SET:

BUILDING PERMIT SUBMITTAL

REVISIONS:
REV 1:
REV 2:
REV 3:

PROJECT ADDRESS:

Karl Malone Powersports Store
Kirtley and Main Streets
Bellevue, Idaho

DESIGN: M.J.
DRAWN: M.J.
CHECKED: EW
DATE: November 28, 2023
PROJECT: KM Powersports
NUMBER: LLA0403.23

SCALE: As Shown
TITLE:

PLANT SCHEDULE, NOTES & DETAILS

SHEET:

L1.03



DR-26-01

Staff Report

811 North Main Street

Bellevue Planning & Zoning Commission

March 2, 2026

Malone Shipping
Containers

Executive Summary

Description

An application for Design Review Approval for the placement of four (4) shipping containers to be placed on the site of Karl Malone Ford and Powersports. Two (2) of the containers are proposed to be located within a fenced storage area yet to be constructed, while the other two (2) are proposed to be located along the rear of the building. The property is 4.97 acres and zoned B – Business.

Discussion

- The applicant is requesting to permit the installation of four (4) shipping containers on the site of the Karl Malone Ford and Powersports at 811 North Main Street. Pursuant to Bellevue City Code Section 10-17-3, the placement of any building upon property within the B – Business zoning district requires design review approval. “Building” is defined in Bellevue City Code section 10-2-1 as “any structure used or designed to be used for supporting or sheltering any use or occupancy per City adopted International Building Code.” As the structures are in excess of two hundred (200) square feet, a building permit and compliance with applicable provisions of the International Building Code are required pursuant to Bellevue City Code Section 9-1-2(A).
- The applicant has declined to provide building elevations, landscape plan, lighting plan, or a floor plan. The previously approved landscape, and lighting plans are included for reference, in addition to photos of the shipping containers as they are currently placed.
- The applicant is proposing to place two (2) of the shipping containers within a screening fence. The fence is proposed to be constructed of eight foot (8’) metal panels along the south (Kirtley Street facing) and west (rear of building) sides, painted to match the existing structure on the property. The other two sides are proposed to be constructed from six foot (6’) chain link with privacy slats, also painted to match the existing structure. As the site plan provided shows the two (2) shipping containers located outside of the fenced area, with a note stating that they are to be placed within the fenced area, it is unknown how effectively the screening fence will obscure the shipping containers. The applicant is proposing to place the other two (2) shipping containers along the rear of the building. The eight foot (8’) metal fence is proposed to be extended beyond the location of the shipping containers. To aid in the assessment of effective screening, photos of an eight foot (8’) tall board placed approximately at the location of the proposed fence are included.
- Staff defers to the Commission regarding the proposal’s compliance with the Design Review Standards and Criteria of Bellevue City Code Section 10-17-5.

Recommendations

Actions

Based upon the record provided to date, Staff defers to the Commission regarding the approval of the subject application. Should the Commission vote to approve the subject application, Staff recommends the following conditions of approval:

1. All shipping containers located on the subject property larger than two hundred (200) square feet require a building permit and compliance with applicable building code

requirements. Building permits shall be applied for within one (1) month of the approval of this application, or the shipping containers removed.

2. Prior to the issuance of a temporary or final certificate of occupancy for the shipping containers, all fencing and additional landscaping shown on the site plan shall be installed.
3. All fencing, landscaping, and improvements shall be maintained in a state of good condition in accordance with Bellevue City Code Section 10-17-8.
4. All conditions of approval associated with prior entitlements remain in effect.

Notice of Expiration

Pursuant to Bellevue City Code Section 10-17-7(A), approval of the Design Review application shall expire if the application has not applied for a building permit within one (1) year of the final action by the Commission.

Project Location



Project Analysis

Description

An application for Design Review Approval for the placement of four (4) shipping containers to be placed on the site of Karl Malone Ford and Powersports. Two (2) of the containers are proposed to be located within a fenced storage area yet to be constructed, while the other two (2) are proposed to be located along the rear of the building. The property is 4.97 acres and zoned B – Business.

Legal Description

Lot 2A ,Block 1, KMAM Subdivision, located within Section 26, Township 2 North, Range 18 East, B.M., City of Bellevue, Blaine County, Idaho.

Associated Documents

Document Name	Receipt of Last Revision
Application	February 10, 2026
Site Plan	February 10, 2026
Project Description	February 10, 2026
Exclusion Letter – Exterior Elevations	February 10, 2026
Exclusion Letter – Landscape Plan	February 10, 2026
Exclusion Letter – Lighting Plan	February 10, 2026
Exclusion Letter – Floor Plan	February 10, 2026

Public Noticing

Pursuant to Bellevue City Code Section 10-17-4(C), public notice is not required for Design Review applications.

Applicable Code Sections

Bellevue City Code Section 9-1-2(A): Amendments to IBC:

Section R105.1 of the 2006 International Building Code (IBC) is amended as follows: 1. One-story detached accessory structures used as tool and storage sheds, playhouses and similar uses, provided the floor area does not exceed ~~120~~ 200 square feet.

Bellevue City Code Section 10-17-3: Design Review Approval Required:

- A. Business, Limited Business/Residential, Light Industrial, Light Industrial/Mixed Business, And Transitional Districts: No person shall commence construction repairs on any new building, or placement of any building upon property, or construction of any addition, alteration, or change to or demolition of the exterior of any building, excluding necessary maintenance, within the Business Zoning District, Limited Business/Residential Zoning District, Light Industrial/Mixed Business Zoning District, Light Industrial Zoning District, or Transitional Zoning District in the

City without first receiving applicable design review approval as required by this chapter. No application for a building permit, demolition permit or other permit shall be received or such permit issued by the City for such construction or other work, excluding necessary maintenance, until design review approval has been obtained as applicable herein.

- B. Change Of Use: Change of use shall require an approved large scale conditional use permit for any building exceeding a twenty eight thousand (28,000) square foot building per parcel or lot and shall be in compliance with defined uses per sections [10-7-2](#) and [10-7-4](#) of this title and shall comply with chapter 16 of this title.
- C. ADU (Accessory Dwelling Unit), Multi-Family And Townhouses In All Zoning Districts: No person shall commence construction or placement of any ADU, multi-family dwelling or townhouse, or make any addition, alteration or change to the exterior of any such building, or commence demolition, excluding necessary maintenance thereof, within any zoning district within the City without first having obtained design review approval therefor under the procedures, requirements, standards and criteria of this chapter. The design review application shall provide all the information required in section [10-17-4](#) of this chapter. In order to receive approval, the application shall meet the standards and criteria set forth in subsections 10-17-5A1 through A10, inclusive; subsections 10-17-5B1b through B1d; and subsections 10-17-5C1 through C7, inclusive, of this chapter.

Bellevue City Code Section 10-17-4(C): Application Procedure:

At a noticed Planning and Zoning Commission meeting, the application shall be presented, together with required materials and information. A design review application is not a public hearing. The commission shall be briefed of the application by staff, receive comment from the applicant, and may take public comment from interested persons. The commission shall approve, deny or conditionally approve the application based on design review standards and criteria, and notify the applicant of the commission's decision by the close of the commission's next noticed scheduled meeting, not to exceed thirty (30) days from the design review meeting, except the commission may table an application until it receives requested information, or for additional review due to the complexity of the application, or problems with regard thereto.

Required Findings Code Sections

Bellevue City Code Section 10-17-5: Design Review Standards and Criteria:

The following list of design review criteria shall be met by each applicant seeking design review approval. The Planning and Zoning Commission shall use said criteria to determine whether a project is to be approved or denied. A building which is allowed by right in this title may be reduced in bulk, height or other physical dimension by requirement of the commission only if found necessary to protect the public health, safety and/or welfare. If a development project is to be built in phases, each phase shall be subject to the design standards and criteria described in this section, and each phase independently shall meet said criteria and standards.

- A. Site Planning:
 - 1. Buildings shall be situated in a manner that preserves existing land forms, trees and other significant vegetation and shall not interrupt waterways or change other natural drainage patterns in a manner which adversely affects adjacent property. Removal of existing trees of greater than six inch (6") caliper is subject to review.
 - 2. Buildings shall be sited so that their form does not break prominent natural ridge lines.

3. Buildings and parking areas shall be clustered to provide for more usable open space. All accesses from alleys shall require improvements installed by the applicant/owner when applicable including, but not limited to, an asphalt surface or compacted gravel surface as determined by the City Public Works Department. The applicant/owner shall be responsible for relocation of applicable City services/utilities, repair of any damaged City services, snow plowing and snow removal.
4. The alignment of roads and driveways shall follow the contours of the site, and cuts and fills shall be minimized.
5. Retaining walls shall be discouraged, and such walls over three feet (3') high shall be stepped to form a number of benches to be landscaped.
6. Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.
7. A snow storage plan, as a component of the site plan, is required. The plan shall comply with the following requirements:
 - a. Use of sidewalks and required parking areas for snow storage is prohibited.
 - b. Snow storage within one hundred feet (100') of stream banks is prohibited.
 - c. Use of landscaped areas for snow storage may be allowed under the approved snow storage plan.
 - d. Snow storage areas shall be incorporated in site design as well as designs that anticipate snow shedding areas.
 - e. Snow storage areas shall not adversely affect neighboring properties.
 - f. Building design shall prevent water from dripping or snow from sliding on pedestrian areas, entrances of buildings, garages and adjacent properties.
 - g. Snow storage areas for parking lots containing twenty (20) spaces or more shall be located on site in an amount which is equal to at least one-third (1/3) of the hard surfaces proposed with the project. The one-third (1/3) amount may be reduced by the use of a snowmelt system, or for good cause demonstrated.
 - h. Where snow storage areas cannot be provided on site because of existing buildings or approved building design, an adequate snow hauling plan shall be submitted for and subject to approval by the Planning and Zoning Commission.

The Planning and Zoning Commission may impose such restrictions on snow removal operations as are necessary to reduce the effects of noise or traffic on surrounding areas.
8. Visual impact of on site parking, service, trash and loading areas shall be minimized whenever possible by locating these areas to the rear of the building and providing screening with landscaping or fences from adjacent properties and public ways.
9. Adequate enclosed on site storage for trash shall be provided for each unit of accessory dwelling units, multi-family and townhouses.
10. All utilities shall be installed underground in accordance with the City standards and in a manner and location approved by the City Engineer.
11. Building and parking areas shall be designed to provide proper ingress and egress; safe, adequate and efficient pedestrian and vehicular traffic circulation; and the efficient and safe arrangement of on site parking, building location, and circulation.
12. Multi-family and townhouses shall provide a minimum of two (2) on site parking spaces for each unit. Accessory dwelling unit parking requirements shall be one off street parking space for a one bedroom ADU and two (2) parking spaces for ADUs with two (2) to three (3) bedrooms.

13. Adequate unobstructed access for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project shall be provided.

B. Architecture:

1. Generally:

- a. Building and shopfront design and construction shall reflect historical architecture styles and shall incorporate building materials, architectural design and features representative of that historical period in Bellevue between 1880 and 1910. That architectural style includes frame and brick construction, frame and shiplap siding construction, horizontal log construction, and similar westward expansion motifs. Also, building design and construction shall preserve and incorporate any such existing structures and features, signage, exterior fixtures and other items from that period.
- b. A building exceeding eight thousand five hundred (8,500) square feet of building coverage shall incorporate a change in facade design, materials, color and/or height, or a combination thereof, that such building appears to be more than one building. These changes shall occur at a minimum of every fifty feet (50') of wall facade visible by the general public and at the ceiling line of the first floor on two-story buildings. In addition, the facade shall change in depth a minimum of two feet (2') at each such change in facade.
- c. All buildings in the B Business District shall have a minimum setback from wall/foundation to property line adjacent to Main Street/Highway 75 of three feet (3'), providing an area for covered seating, planters, special event advertising units and displays of merchandise, in addition to the specified requirements of subsection B1b of this section.
- d. All exterior mechanical equipment shall be screened on all sides with materials and colors matching the approved structure.
- e. Mechanical equipment and solar panels shall be hidden or de-emphasized.
- f. Metal siding shall not be permitted on buildings on parcels of real property abutting Main Street (State Highway 75) unless deemed appropriate by the Planning and Zoning Commission. All such buildings shall be constructed of or faced with materials that are similar in texture, finish, and appearance to natural materials. The use of natural materials such as wood, brick and stone shall be encouraged, and exterior wall colors shall be of natural earth tones.
- g. Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.
- h. Accessory dwelling unit sizes shall comply with section 10-2-1 of this title.

2. Multi-Family And Townhouses: Multi-family and townhouses shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and location of the site. Multi-family and townhouse design, style, scale, and aesthetics shall blend with its neighborhood. There shall be no repetitive side by side development of buildings. The City is looking for individual buildings by varying types and styles to make for a pleasant streetscape experience.

3. Accessory Dwelling Units (ADUs): ADUs shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and emulate the primary structure of the site. Design, style, scale, and esthetics shall blend with its neighborhood. Building materials and exterior architectural design shall be

reflective of existing structures on the subject site and take into consideration the architectural style and materials of the general vicinity.

C. Landscaping; Parking; Lighting:

1. Exterior light fixtures and signs shall be nonglaring in design and installation so as not to adversely affect adjacent properties and public ways.
2. The design of fences, walls and retaining walls shall harmonize with the site and buildings in scale as well as in materials.
3. Preservation of significant natural features such as water, view, topography, and vegetation shall be incorporated in the landscape plan.
4. Site conditions, drought tolerance and local hardiness shall be considered to select appropriate plant species, including grasses for lawn areas.
5. Landscaping shall provide a substantial buffer between incompatible land uses and shall be used to screen from view and to mitigate visual impact of parking areas, loading areas, and garbage containers from adjacent properties and public ways.
6. Installation of adequate drip or other low consumption irrigation systems shall be required. Landscaping shall be properly irrigated and maintained, and landscaping, or any portion thereof, shall be replaced when it dies or is otherwise destroyed.
7. Adequate drainage shall be provided on site.
8. A minimum of ten percent (10%) of the parking area of parking lots with twenty (20) spaces or more shall be landscaped with islands, dividers, or a combination of the two. Parking lots with twenty (20) spaces or more will have a minimum of fifty percent (50%) of the required landscaped area installed adjacent to Main Street/Highway 75 unless otherwise approved by the commission due to extensive curb cuts and vision safety concerns.
9. All public rights-of-way adjacent to subject property including alleys shall be improved with, but not limited to, asphalt/concrete/compacted gravel, and applicable curbing, gutter, drainage, ADA standards, lighting, sidewalks and striping as recommended by the Public Works Director.

D. Curbs, Gutters, Sidewalks And Street Tree Requirements: Within the B Business, LB/R Limited Business/Residential, LI/B Light Industrial/Mixed Business and LI Light Industrial Zoning Districts, curbs, gutters, sidewalks and street trees are required and shall be installed along the street frontage of each lot or parcel of real property upon which a new building or a "major addition" (defined as requiring a building permit and having a cost of construction exceeding \$50,000.00) is constructed. Such improvements shall be constructed in accordance with the applicable construction standards and ordinances of the City.



City of Bellevue

115 E Pine Street
P. O. Box 825 Bellevue, ID 83313
208-788-2128 Fax 208-788-2092

Design Review Application

Applicant Information			
Business / Project Name: KMAM Real Estate / Malone Ford - Shipping Containers			
Owner / Applicant Name: KMAM Real Estate / David Hicks			
Phone #: 801-755-8334	Fax #:	email: dhicks@gomalone.com	
Service Location:			
Mailing Address: 11453 S Lone Peak Pkwy, Draper, UT			
Property Physical Address: 811 N Main Street			
Property Legal Description: KMAM Lot 2A BLK 1			
Business Type: <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Corporation <input checked="" type="checkbox"/> Limited Liability <input type="checkbox"/> Partnership <input type="checkbox"/> Other			
Current Zoning: <input checked="" type="checkbox"/> Business <input type="checkbox"/> Limited Business/Res <input type="checkbox"/> Light Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Transitional			
Project Description			
Business / Project Description: Place 2 shipping containers on site, screened behind existing building and proposed fence.			
Structure Design: <input type="checkbox"/> Stick Built <input type="checkbox"/> Modular <input type="checkbox"/> Manufactured/ Mobile (HUD) <input checked="" type="checkbox"/> Container			
Existing Sq Ft: 30,875	New Sq Ft: 1,280	Total Sq. Ft: 32,155	Lot Sq Ft: 317,109
Living Quarters Included? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes, please describe: _____			
Parking Requirements: (See City Code- Zoning Regulations Title 10) <u>N/A</u>			
Acknowledgement			
<p>*This application is due no less than 15 days prior to the next regularly scheduled meeting date of the Bellevue Planning & Zoning Commission with all of the required material itemized in Chapter 19, Design Review, and Bellevue City Ordinance 86-03.</p> <p>*Design Review Application Fees: Non-Residential = Base fee \$400.00 + \$25.00 per each 1,000 square feet of gross floor area Residential = \$Base fee \$200.00 1-6 unites. 7+ unites an additional \$25.00 per unit will be charged.</p> <p>*ALL LEGAL, ENGINEERING AND OTHER CONSULTANT FEES SHALL BE REIMBURSED AT 100%</p>			
Applicant's Signature: _____		Date: <u>1/19/2025</u>	
Official Use Only			
Date Received: _____ Check #: _____ CD Director Signature: _____			



DESIGN REVIEW APPLICATION PROCEDURES

CITY OF BELLEVUE- COMMUNITY DEVELOPMENT DEPARTMENT
115 East Pine Street/ P.O. Box 825/ Bellevue, ID 83313
Telephone: (208) 788-2128 ext. 8

The following materials and information together with the application form and fees shall constitute a complete application for design review and shall be filed by the applicant prior to consideration of the application by the Commission.

- 1) Site map of the property upon which the proposed construction is to occur shall be submitted in sufficient detail to show the following:**
 - a) Exterior boundary lines of the property together with dimensions;
 - b) Location of proposed and existing structures with dimensions thereof showing the setback of each structure from the nearest property line;
 - c) Location of on-site parking spaces, ADA accessible spaces, loading zones and access thereto, including the dimensions of the spaces and the width and length of access;
 - d) Location and dimensions of snow storage areas;
 - e) Location of dumpster and/or garbage can storage areas including the dimensions and proposed fencing or other screening;
 - f) Designation of the zoning district in which the project is located;
 - g) Location of vehicular and pedestrian circulation patterns, easements and proposed improvements with regard thereto;
 - h) Contour lines of five (5) foot intervals to show proposed slope and topography of the property;
 - i) Location of existing and proposed adjacent street rights-of-way, fire hydrants, sewer lines, water lines and other utilities, and plans for the separate connection to and extension of each utility to each unit or building;
 - j) Indication of direction of snow slide from roof and drip line of all buildings
 - k) Location of existing structures on adjacent properties;
 - l) Location of onsite trash and personal property storage.
 - m) (1) one large and (7) seven reduced vicinity maps depicting adjacent streets, flood plains, applicable zoning and comprehensive land use designations.
- 2) Preliminary Schematic Drawings of the proposed construction shall be submitted to show the following:**
 - a) Floor plan at not less than one-eighth (1/8) scale;
 - b) (7) seven reduced exterior elevations with facades and other exterior elements shown in color;
 - c) Type and color of exterior materials and roofing with samples thereof;
 - d) Location and type of exterior lighting;
 - e) A colored model shall be submitted for all new buildings not including additions or buildings less than 3,000 sq. ft.
- 3) Landscape Plan and legend shall be submitted in sufficient detail to show the following:**
 - a) (1) one large and (7) seven proposed landscape plans of the project including calculations depicting percentage of land area being landscaped, types and size of trees, ground cover and other vegetation;
 - b) Proposed excavation or land fill including resulting slope grades;
 - c) Location and height of walls or fences;
 - d) Drip or other low consumption irrigation system for landscaping;
 - e) Drainage plan including off-site improvements.
 - f) Street trees shall be a minimum of 3" caliper and planted at spacing not less than one tree for every 35' of public street right-of-way, excluding alleys. All trees shall comply with the Bellevue Street Tree guidelines and obtain an approved encroachment permit from ITD or City of Bellevue.



February 10, 2026

City of Bellevue
Planning & Zoning Commission

Exterior Elevations

This item does not apply to this project because no buildings are proposed with the placement of the 4 shipping containers. The existing Ford and Powersports Store will remain as is with this project.

Thank you for the opportunity to submit this application. We look forward to working with you on this development.

Cal Johnson
Legend Engineering
cal@legendengineering.com
(435) 654-4828





February 10, 2026

City of Bellevue
Planning & Zoning Commission

Floor Plan

This item does not apply to this project because no buildings are proposed with the placement of the 4 shipping containers. The existing Ford and Powersports Store will remain as is with this project.

Thank you for the opportunity to submit this application. We look forward to working with you on this development.

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(435) 654-4828





February 10, 2026

City of Bellevue
Planning & Zoning Commission

Landscape and Irrigation Plans

This item does not apply to this project as all existing landscaping and irrigation systems will remain from the original development and will not be affected by the placement of the 4 shipping containers.

Thank you for the opportunity to submit this application. We look forward to working with you on this development.

Cal Johnson
Legend Engineering
cal@legendengineering.com
(435) 654-4828





February 10, 2026

City of Bellevue
Planning & Zoning Commission

Lighting Plan

This item does not apply to this project as there are no changes to or obstructions to lighting with the proposed placement of the 4 shipping containers.

Thank you for the opportunity to submit this application. We look forward to working with you on this development.

Cal Johnson
Legend Engineering
cal@legendengineering.com
(435) 654-4828





February 10, 2026

City of Bellevue
Planning & Zoning Commission

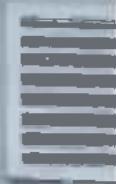
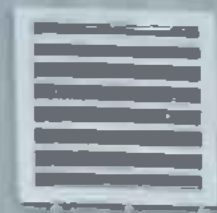
KMAM Real Estate proposes placing 4 shipping containers at the Ford and Powersports store located at 811 N Main Street. The proposed development includes the placement of the shipping containers and a screening fence to screen the containers from the neighbors to the rear of the property. A fence permit has been submitted to the city for approval of the screening fence. No other changes to hardscapes, landscaping, utilities, or lighting are proposed with this project. The site is to remain as approved by the City of Bellevue apart from the placement of the shipping containers and screening fence.

This project is in conformance with 10-17-5: Design Review Standards and Criteria. The concepts of Site Planning, Architecture, Landscaping; Parking; Lighting, and adequate public improvements have all been met by the previous development of the Ford and Powersports Store. This project will not impact the existing snow storage areas, and the site will maintain adequate parking stalls. Traffic patterns will not be affected by the proposed installation.

Thank you for the opportunity to submit this application. We look forward to continue working with the City of Bellevue on this development.

Cal Johnson
Legend Engineering
cal@legendengineering.com
(435) 654-4828



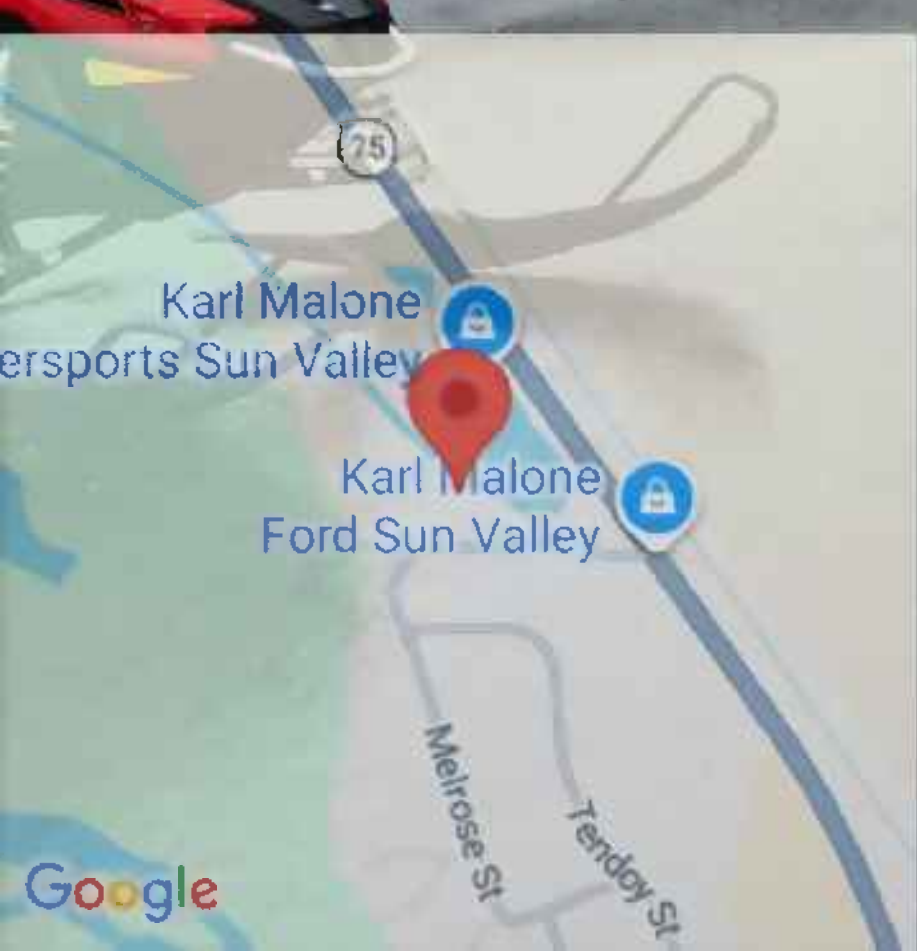
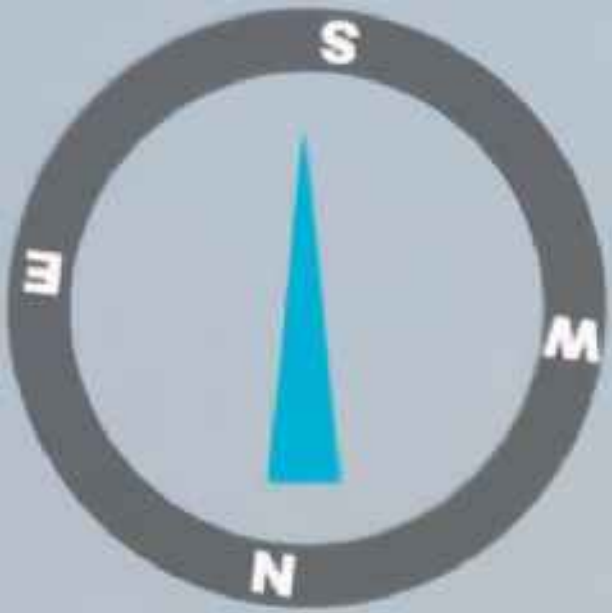


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Bellevue
Blaine County
Idaho

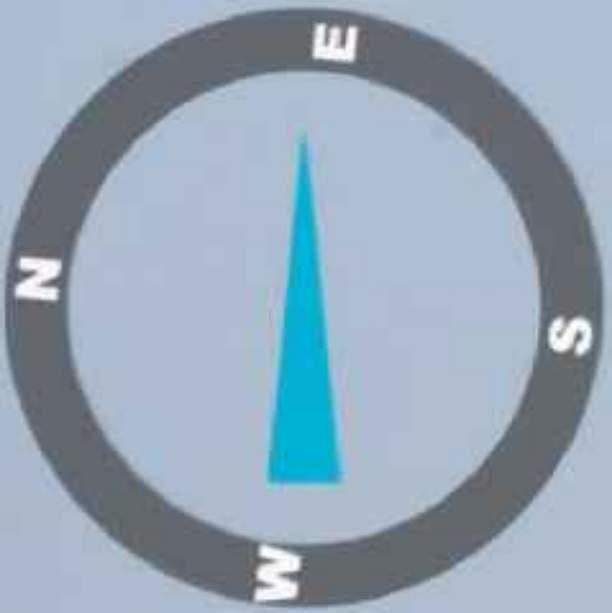


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Bellevue
Blaine County
Idaho

Feb 24, 2026 10:19:02
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31° NE
811 North Main Street
Bellevue
Blaine County
Idaho



Feb 24, 2026 10:19:19
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411 Tendency Street
Bellevue
Blaine County
Idaho



Feb 24, 2026 10:19:37

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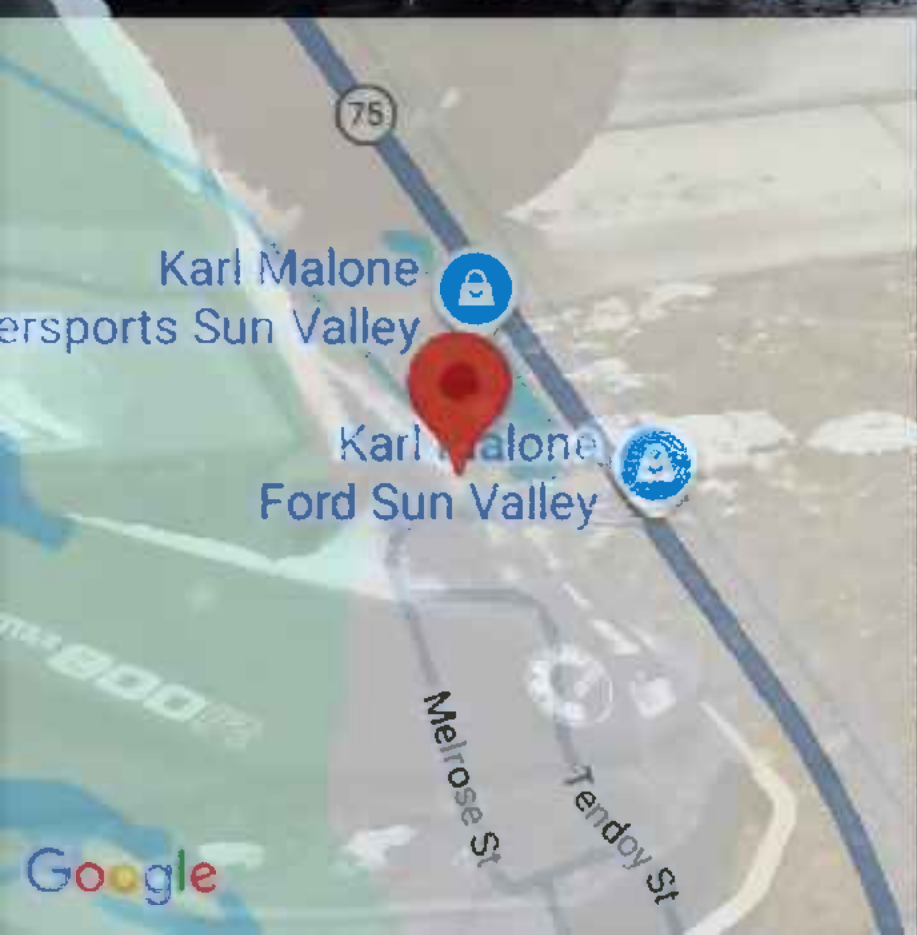
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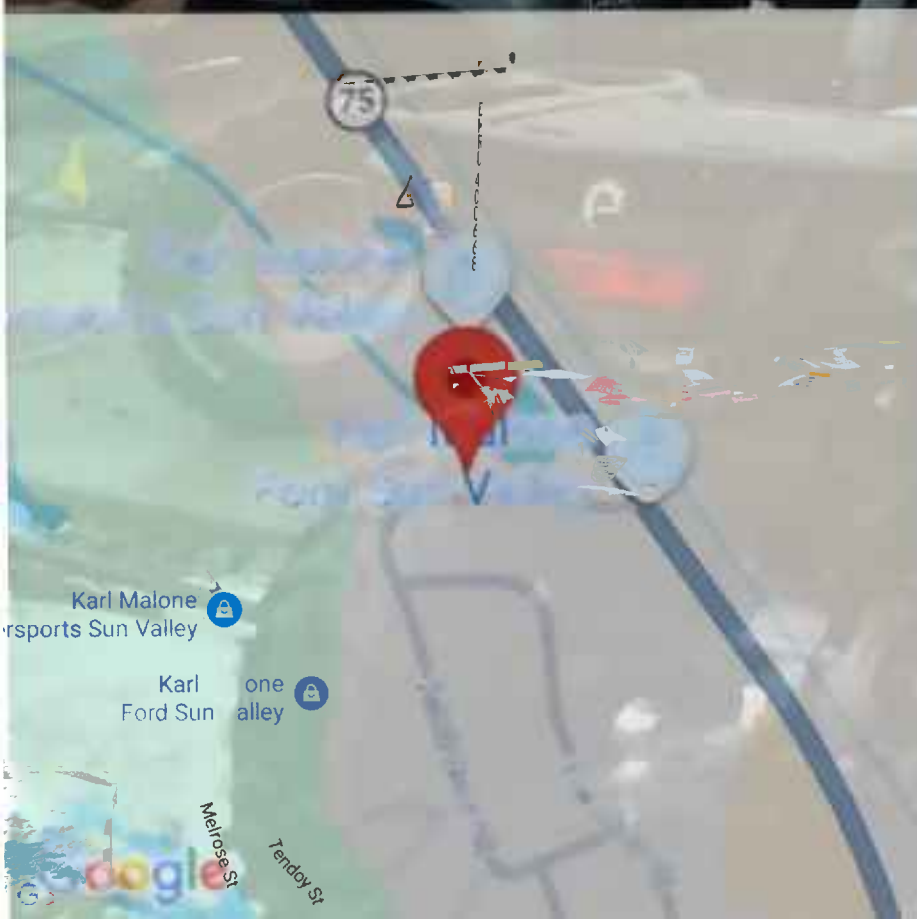
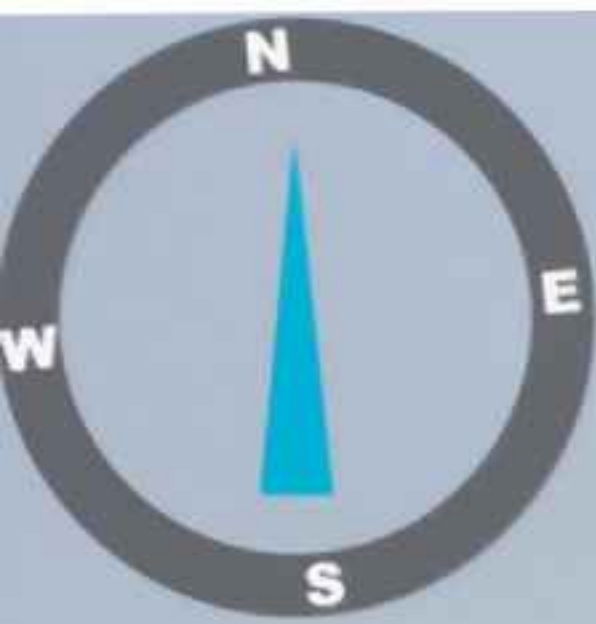
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Bellevue

Blaine County

Idaho

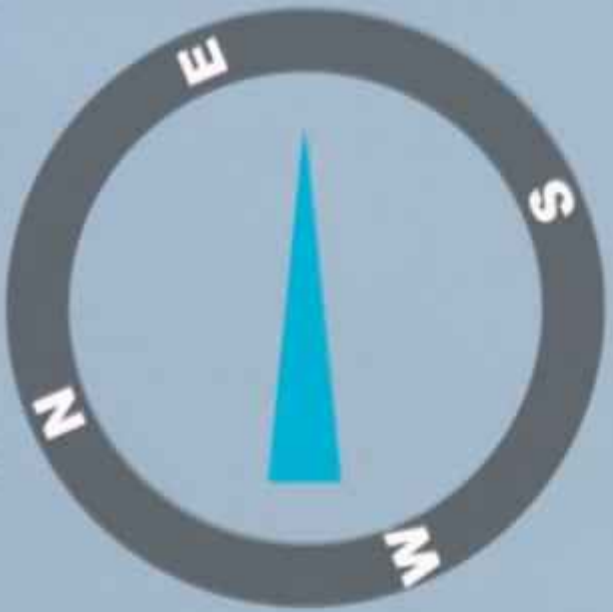




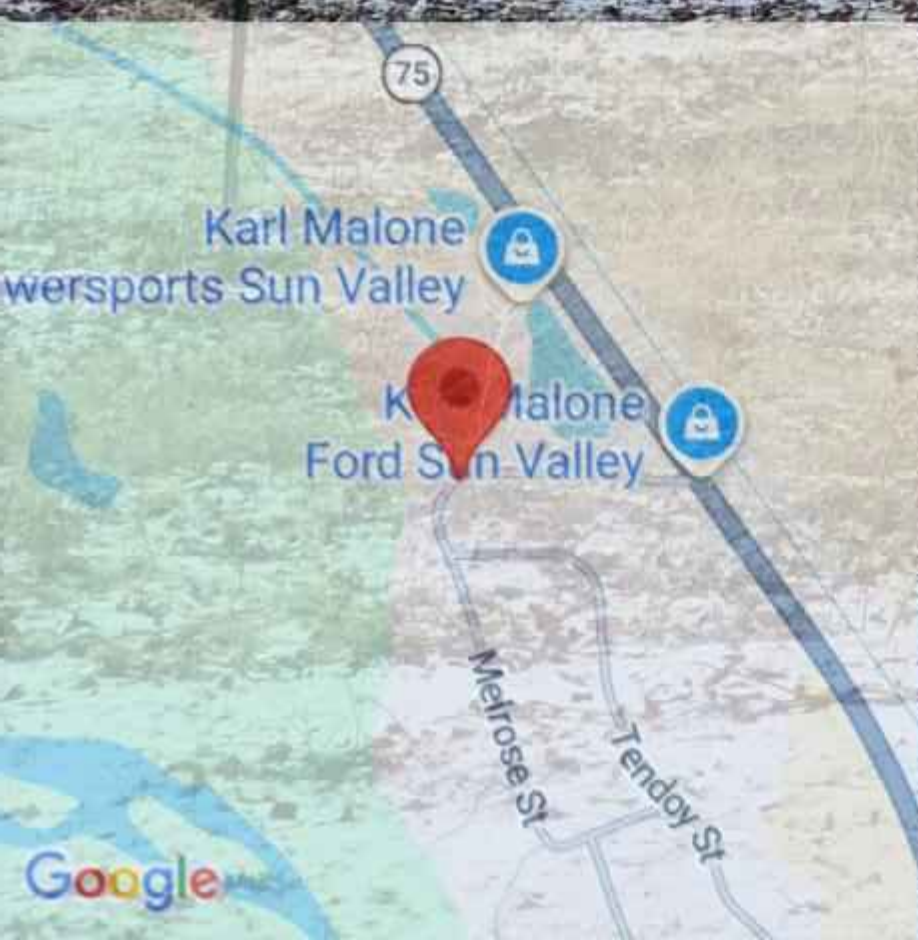
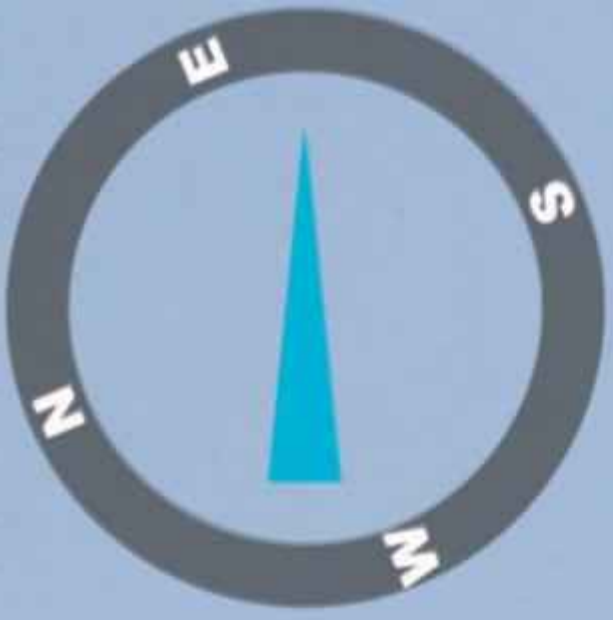
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6° N
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Bellevue
Blaine County
Idaho

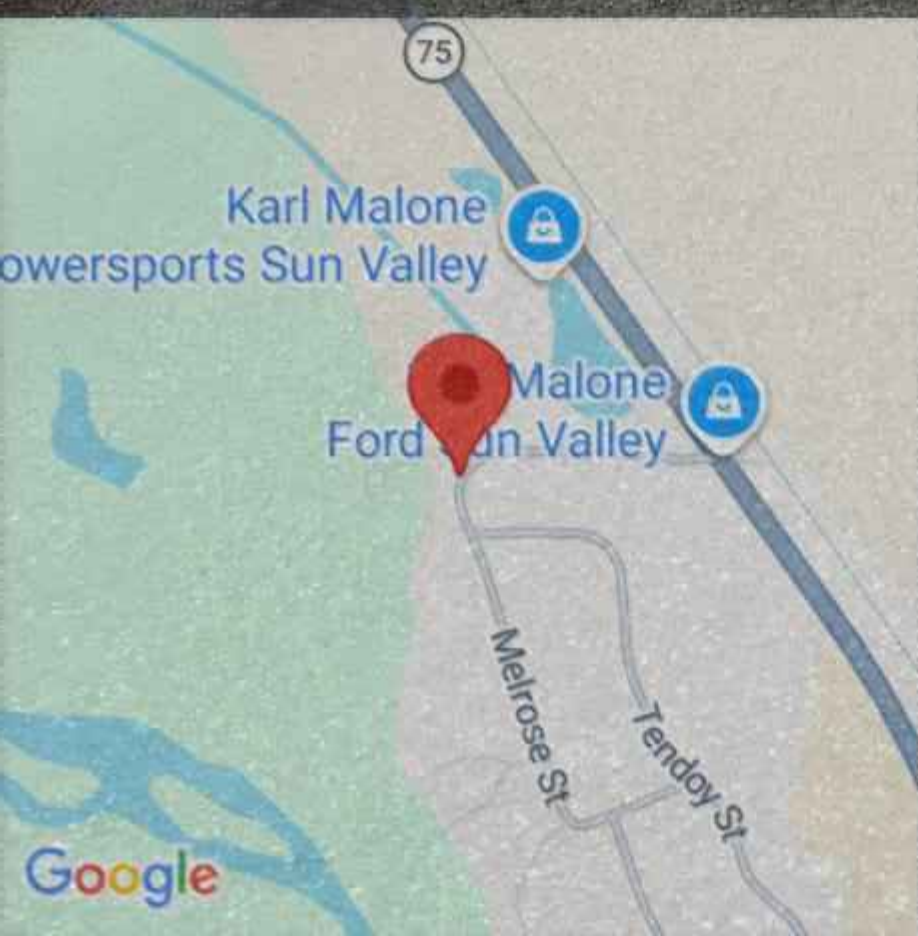
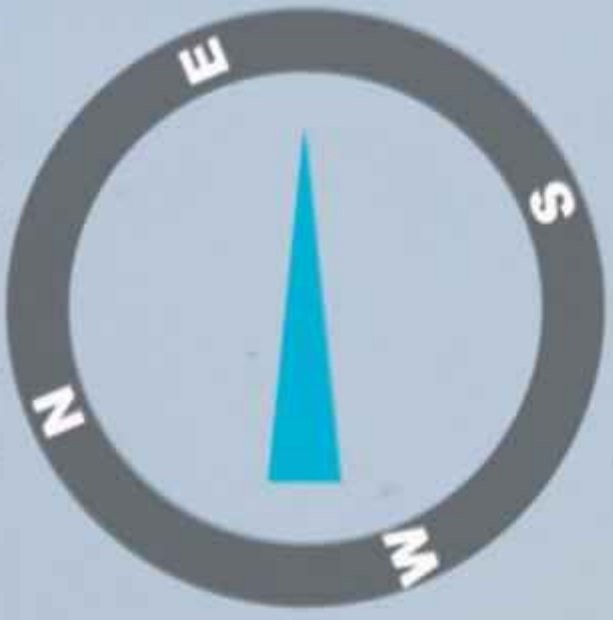
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Blaine County
Idaho



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421 Tendoy Street
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Blaine County
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Bellevue
Blaine County
Idaho

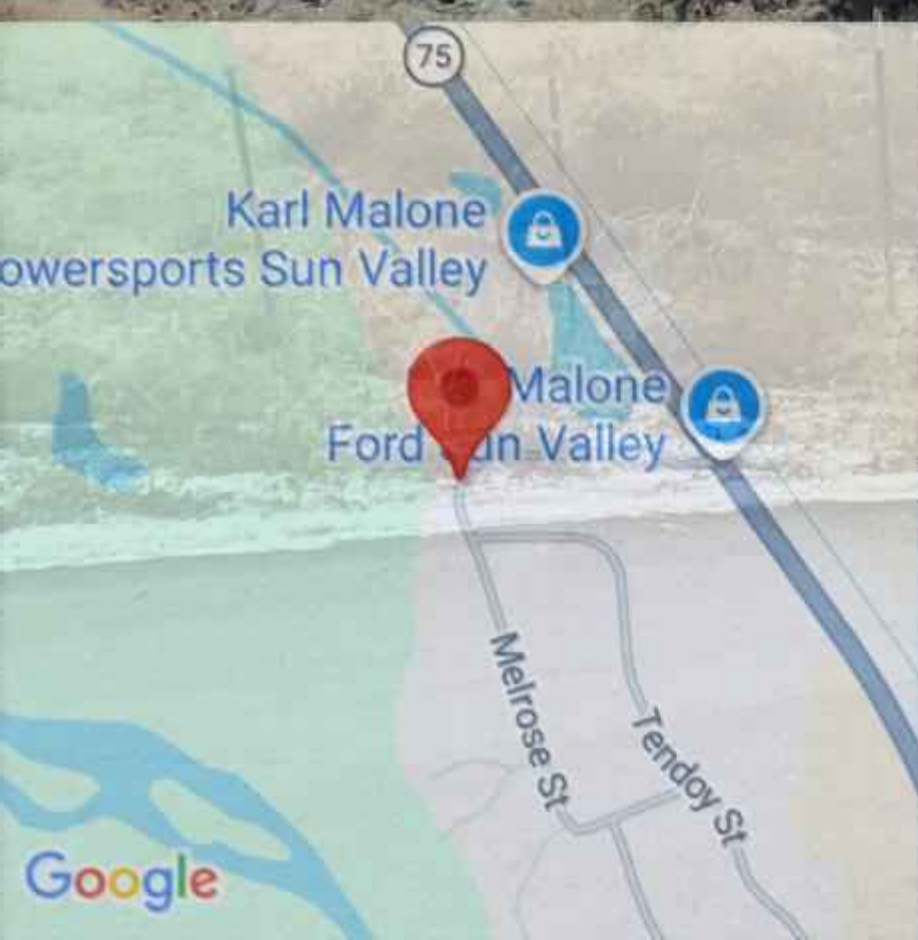
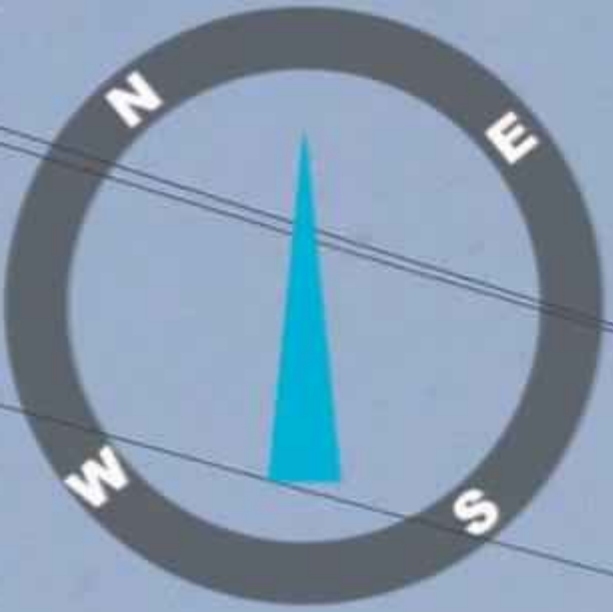


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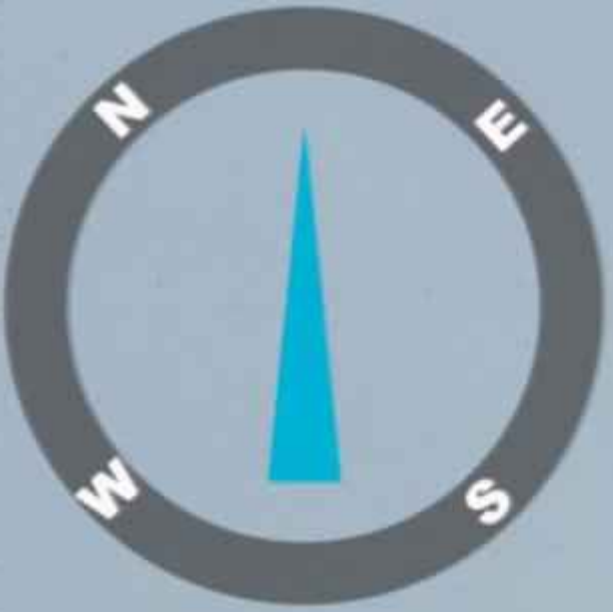
421 Tendoy Street
Bellevue
Blaine County
Idaho



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37° NE
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Bellevue
Blaine County
Idaho

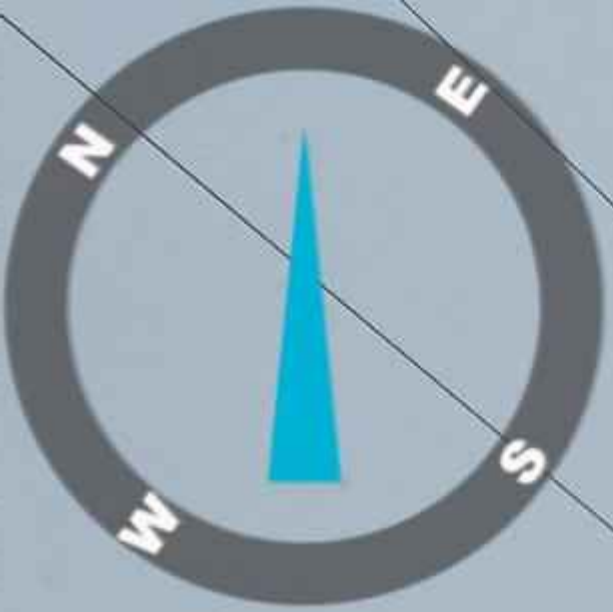


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Bellevue
Blaine County
Idaho



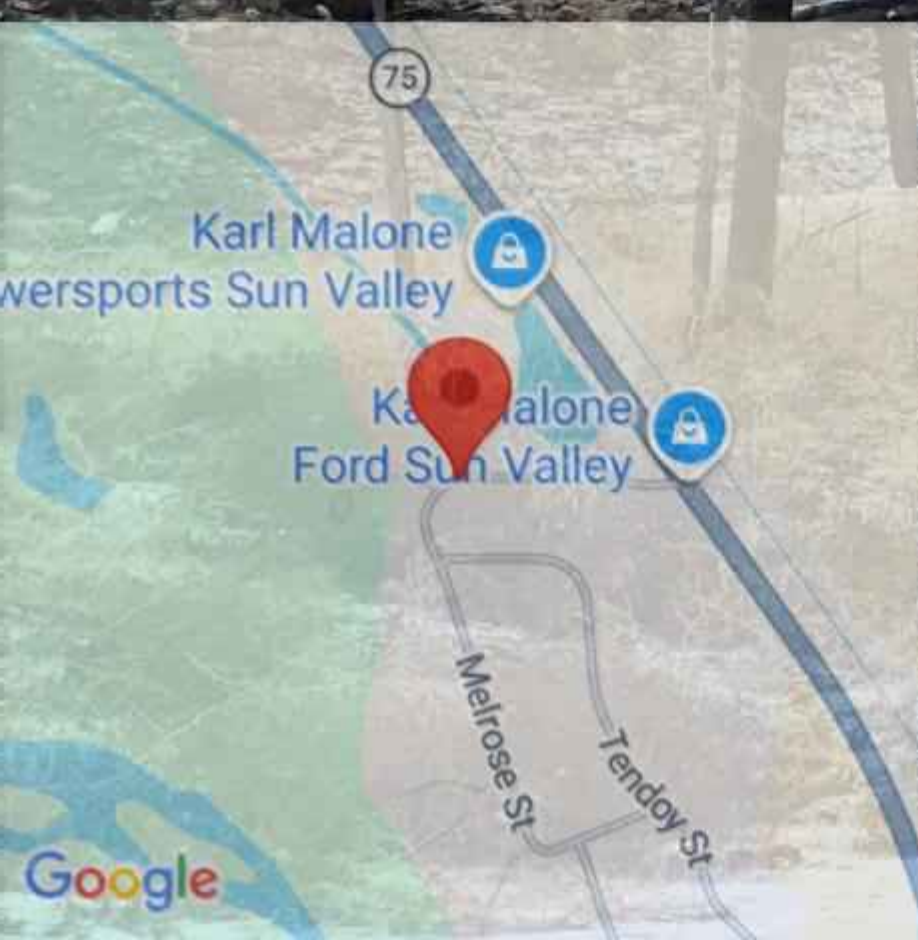
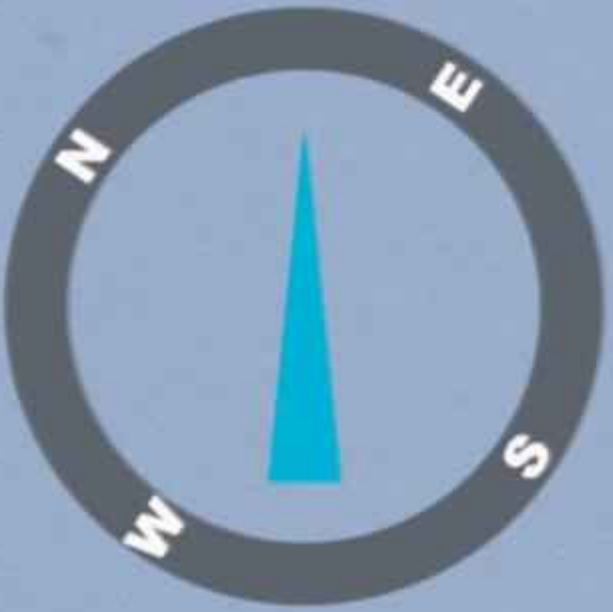
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421 Tendoy Street
Bellevue
Blaine County
Idaho



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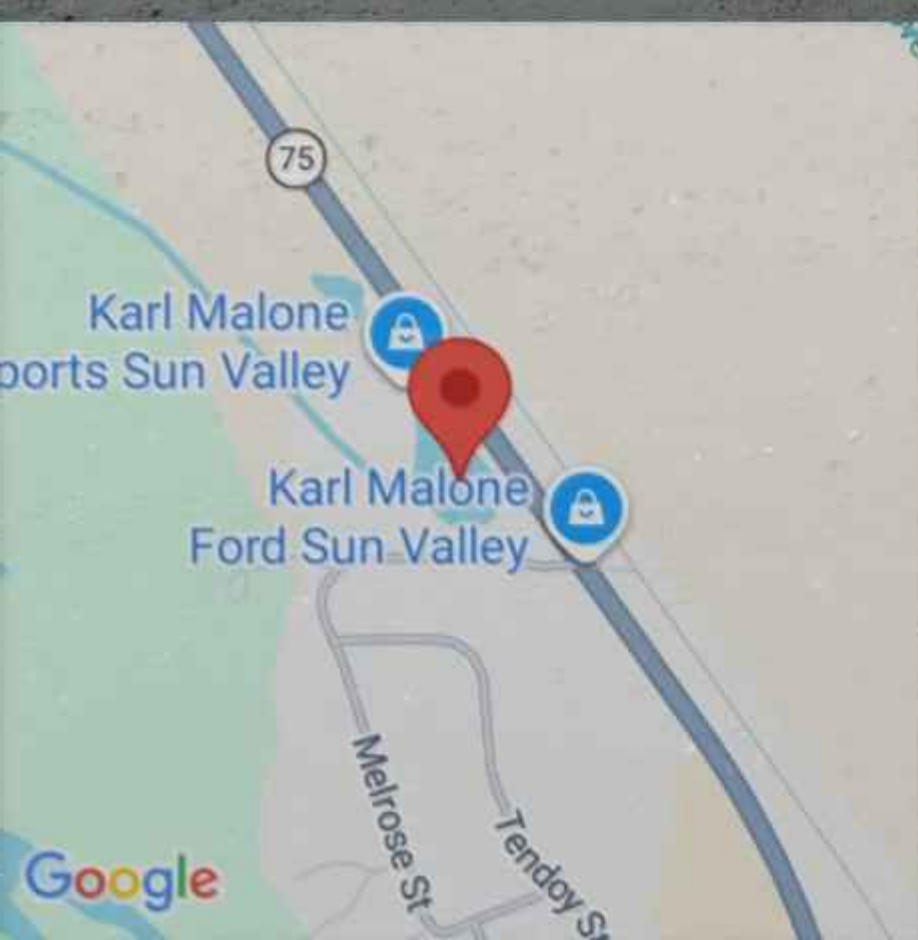
421 Tendoy Street
Bellevue
Blaine County
Idaho



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56° NE
421 Tendoy Street
Bellevue
Blaine County
Idaho



Feb 24, 2026 10:30:26
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234° SW
811 North Main Street
Bellevue
Blaine County
Idaho



Feb 24, 2026 10:31:21
43.4777N 114.2693W
214° SW
811 North Main Street
Bellevue
Blaine County
Idaho

From:

Subject:

Archived: Thursday, February 26, 2026 2:09:05 PM

As a resident of Bellevue living in the Chantrelle subdivision since 1999, we would like to state our concerns about some of the issues our neighborhood is facing with the Karl Malone dealership.

1- There continues to be garbage along the hillside on Kirtley below the car lot. We clean up along that road on a pretty regular basis and have collected garbage that is obviously coming from the dealership. Their one time clean up effort months ago is inadequate.

There is also quite a bit of construction garbage directly across Hwy 75 from the car lot that they should be responsible for cleaning up.

It is a blight on our community.

2- The shipping containers that are being used for storage will still be partially visible even after a solid 8' fence is built. If the containers were painted the same color as the building and there is nothing piled on top, this could be an affordable workable solution.

3- We would like to be assured that all of the back stock, inventory, materials, and refuse be completely behind and below the level of the fence.

4- As we understand it, the security bond that was paid by Karl Malone Ford is to insure that the fence and landscaping be completed by July 1, 2026 and if KM Ford defaults then the City of Bellevue will complete the project.

It is doubtful that \$24666 will be adequate to cover the cost of materials and installation of hundreds of feet of fencing and the completion of the landscaping.

We ask that the city seriously consider these concerns and provide assurance that the dealership intends to fulfill their obligations, have respect for our neighborhood and take full responsibility for finishing the project themselves.

We do appreciate that the lighting situation has been addressed. Thank you for facilitating that.

Respectfully,

Carol Van Bramer

Todd Van Bramer

320 Tendoy Street

PO Box 685

Bellevue

208.720.6324

Sent from my iPhone