



CITY OF BELLEVUE, IDAHO
Planning and Zoning Commission
Monday, November 17, 2025, 5:30 PM
115 Pine Street, Bellevue, Idaho 83313

AGENDA

JOIN ZOOM MEETING

<https://us02web.zoom.us/j/84139399633?pwd=eDCQNSeuEYsa42qesc0b5FawDaXBGa.1>

Meeting ID: # 841 3939 9633

Passcode: # 900164

One tap mobile

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+1-346-248-7799 US (Houston)

CALL TO ORDER

ROLL CALL

1. NOTICE OF AGENDA COMPLIANCE - ACTION ITEM

*Finding that the regular meeting notice and agenda were posted in accordance with Idaho Code §74-204 within forty-eight (48) hours prior to the meeting at: the City of Bellevue City Hall, Post Office, on the City's website on **November 13, 2025**. (Suggested Motion: I move the notice for the November 17, 2025, regular Meeting was completed in accordance with Idaho Code, Section §74-204.)*

2. CALL FOR CONFLICT: (As outlined in Idaho Code §74-404)

3. PUBLIC COMMENT: For items of concern NOT on the Agenda.

4. CONSENT AGENDA – ACTION ITEM

a. **Approval of Minutes**

i. October 6, 2025 Regular Meeting Minutes

b. **Findings of Fact from Prior Meeting(s)**

i. DR-25-06 – Ellis Duplex – 600 N 6th St

An application for Design Review Approval for a duplex proposed to be located at 600 N 6th Street, proposed to feature a reduced lot area (per each unit) and reduced side setbacks.

5. NEW BUSINESS – ACTION ITEM

a. **DR-25-09 – Deck Rebuild – 312 S Main Street**

An application for Design Review Approval to change the exterior of an existing building located at 312 South Main Street by rebuilding the structure's front deck.

6. WORK SESSION

a. **Comprehensive Plan Update**

i. Vision Statement

7. NEXT MEETING

a. Regular Meeting – December 1, 2025

8. ADJOURNMENT - ACTION ITEM

I, designated Planning Commission Secretary for the City of Bellevue, Idaho, hereby certify that the regular meeting notice and agenda were posted in accordance with **Idaho Code §74-204** within forty-eight (48) hours prior to the meeting at: the City of Bellevue City Hall, Post Office, and on the City of Bellevue Website: <https://www.bellevueidaho.us/> on **November 13, 2025**.

In compliance with the American with Disabilities Act, individuals needing special accommodations during this meeting should notify the City of Bellevue, 115 East Pine Street, Bellevue, Idaho 83313, or **phone number 208-788-2128 ext. 8, at least twenty-four (24) hours prior to the meeting**.



CIUDAD DE BELLEVUE, IDAHO
Comisión de Planificación y Zonificación
lunes, 17 de noviembre de 2025, 5:30 p. m.
115 Pine Street, Bellevue, Idaho 83313

AGENDA

ÚNASE A LA REUNIÓN DE ZOOM

<https://us02web.zoom.us/j/84139399633?pwd=eDCQNSeuEYsa42qesc0b5FawDaXBGa.1>

ID de la reunión: # 841 3939 9633

Código de acceso: # 900164

Móvil con un toque

+1-253-215-8782 EE. UU. (Tacoma)

+1-346-248-7799 EE. UU. (Houston)

LLAMAR PARA ORDENAR

PASE DE LISTA

1. AVISO DE CUMPLIMIENTO DE LA AGENDA - ELEMENTO DE ACCIÓN

Encontrar que el aviso y la agenda de la reunión regular se publicaron de acuerdo con el Código de Idaho §74-204 dentro de las cuarenta y ocho (48) horas anteriores a la reunión en: el Ayuntamiento de la Ciudad de Bellevue, Oficina de Correos, en el sitio web de la Ciudad el 13 de noviembre de 2025. (Moción sugerida: Moto el aviso para la reunión ordinaria del 17 de noviembre de 2025 se completó de acuerdo con el Código de Idaho, Sección §74-204).

2. LLAMADO AL CONFLICTO: (Como se describe en el Código de Idaho §74-404)

3. COMENTARIO PÚBLICO: Para temas de interés que NO están en la agenda.

4. ORDEN DEL DÍA CONVENIDO – PUNTO DE ACCIÓN

a. Aprobación del Acta

i. Acta de la reunión ordinaria del 6 de octubre de 2025

b. Conclusiones de hecho de reuniones anteriores

i. DR-25-06 – Dúplex Ellis – 600 N 6th St

Una solicitud de aprobación de revisión de diseño para un dúplex propuesto para ubicarse en 600 N 6th Street, propuesto para presentar un área de lote reducida (por cada unidad) y retrocesos laterales reducidos.

5. NUEVO NEGOCIO – ELEMENTO DE ACCIÓN

a. DR-25-09 - Reconstrucción de la cubierta - 312 S Main Street

Una solicitud de aprobación de revisión de diseño para cambiar el exterior de un edificio existente ubicado en 312 South Main Street mediante la reconstrucción de la cubierta frontal de la estructura.

6. SESIÓN DE TRABAJO

a. Actualización integral del plan

i. Declaración de visión

7. PRÓXIMA REUNIÓN

a. Reunión ordinaria – 1 de diciembre de 2025

8. APLAZAMIENTO - ELEMENTO DE ACCIÓN

Yo, designado Secretario de la Comisión de Planificación de la Ciudad de Bellevue, Idaho, certifico por la presente que el aviso y la agenda de la reunión ordinaria se publicaron de acuerdo con el **Código de Idaho §74-204** dentro de las cuarenta y ocho (48) horas anteriores a la reunión en: el Ayuntamiento de la Ciudad de Bellevue, la Oficina de Correos y en el sitio web de la Ciudad de Bellevue: <https://www.bellevueidaho.us/> el **13 de noviembre de Año 2025**.

De conformidad con la Ley de Estadounidenses con Discapacidades, las personas que necesiten adaptaciones especiales durante esta reunión deben notificar a la Ciudad Bellevue, 115 East Pine Street, Bellevue, Idaho 83313, o al **número de teléfono 208-788-2128 ext. 8, al menos veinticuatro (24) horas antes de la reunión.**



CITY OF BELLEVUE, IDAHO
Planning and Zoning Commission
Monday, October 6, 2025, 5:30 PM
115 Pine Street, Bellevue, Idaho 83313

Minutes

The Planning and Zoning Commission of the City of Bellevue, Idaho, met for a Regular Meeting, on Monday, October 6, 2025, at 5:30 p.m. in the Council Chambers of the City of Bellevue Offices, located at 115 E. Pine Street, Bellevue, ID 83313.

CALL TO ORDER

Chair Kurtz called the Meeting to order at 5:38 P.M.

ROLL CALL

John Kurtz, Planning and Zoning Chair - Present
Eric Grootveld, Commission Member – Present
Aaron Heugly, Commission Member - Present
Genoa Beiser, Commission Member – Present

Staff Present:

Brian Parker, Community Development Director
Carter Bullock, Planner

1. NOTICE OF AGENDA COMPLIANCE - ACTION ITEM

Motion: Commissioner Grootveld motioned that the notice for the October 6, 2025, Regular Meeting was completed in accordance with Idaho Code, Section §74-204, Commissioner Beiser seconded, all voted in favor, and the motion carried.

1. CALL FOR CONFLICT: (As outlined in Idaho Code §74-404)

2. PUBLIC COMMENT: For items of concern NOT on the Agenda.

3. CONSENT AGENDA – ACTION ITEM

a. Approval of Minutes

i. September 02, 2025 Regular Meeting Minutes

Commissioner Beiser motioned to approve the consent agenda, Commissioner Grootveld seconded, all voted in favor, and the motion carried.

4. NEW BUSINESS – ACTION ITEM

a. DR-25-06 – Ellis Duplex: 600 N 6th St.

An application for Design Review Approval for a duplex proposed to be located at 600 N 6th Street, proposed to feature a reduced lot area (per each unit) and reduced side setbacks.

Mr. Bullock presented an overview of the Staff Report. Mr. Ellis noted that he had no comments but was available for discussion or questions regarding his application. Mr. Bullock noted that he would like the Commission to discuss the application's compliance with the design standards regarding accessory dwelling units and duplexes, and that the Commission discusses the application's compliance with the "affordable housing" provisions of Bellevue City Code. Chair Kurtz asked about the access plan, and Mr. Bullock answered. Commissioner Beiser asked about the colors proposed for the duplex. Mr. Ellis discussed the color palette proposed. The Commission discussed the changes in the building design relative to the previously approved adjacent properties. Commissioner Grootveld stated that he remembered the previous application and felt the changes were sufficient. Commissioner Beiser asked about the sales price and affordability of the units. Mr. Ellis stated that they intended to own the property and rent them through a property manager. He stated that the construction cost was

anticipated to be approximately \$450,000 for the unit, plus \$200,000 for the land. Commissioner Beiser asked about the term of the leases, and Mr. Ellis stated that a one (1) year lease is normal. Commissioner Beiser asked staff for options available for further restrictions to maintain affordability. Staff provided an overview of the requirements of code. Commissioner Grootveld stated support for naturally occurring affordable housing, which in his opinion, this was as it is a more modest form of housing than is generally being built at this point. Chair Kurtz asked about snow retention on the roof and potential issues relating to the side yard setbacks. The Commission discussed and felt comfortable with the proposal. Chair Kurtz asked about the possibility of adjusting the design of the duplex to avoid having to reduce the side yard setbacks. Commissioner Beiser noted a preference for less side yard setback in exchange for more usable back yard space. Commissioner Heugly asked about public and agency comment. Commissioner Grootveld requested a condition of approval be added requiring snow cleats on the roof. Mr. Ellis stated that he needed to check with his roofing subcontractor but was generally amenable to the requirement. The Commission discussed the “low-consumption” irrigation requirements. Mr. Ellis provided an overview of the landscape plan and noted that the use of sod is limited to the back yard. Commissioner Grootveld stated a preference for fencing the site to the back alley to limit the visible yard debris, junk, similar in the area between the alley and the fence. The rest of the Commission agreed. Commissioner Kurtz asked if the back yard would be shared. Mr. Ellis stated that a fence would be constructed between the units.

Commissioner Grootveld motioned to approve the subject application with a condition that snow retention devices be installed on the north side of the roof and directed staff to prepare Findings of Fact, Conclusions of Law, and Decision documents reflecting the decision based on the record provided. Commissioner Heugly seconded the motion, all voted in favor and the motion carried.

b. Commissioners' Terms Discussion

Mr. Parker and Mr. Bullock discussed the expiration of Commissioners terms and next steps with the Council, as well as advertising the vacancy of Commissioner Lindberg's seat.

5. NEXT MEETING

- a. Regular Meeting – October 20, 2025

6. ADJOURNMENT - ACTION ITEM

Motion: Commissioner Heugly voted to adjourn the meeting, Commissioner Grootveld seconded, all voted in favor, and the meeting was adjourned at 6:24 P.M.

John Kurtz, Planning & Zoning Chair

Planning Commission Secretary

CITY OF BELLEVUE
PLANNING & ZONING COMMISSION

REGARDING AN APPLICATION OF: An application for Design Review Approval for a duplex proposed to be located at 600 N 6th Street, proposed to feature a reduced lot area (per each unit) and reduced side setbacks.	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION
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DESCRIPTION: An application for Design Review Approval for a duplex proposed to be located at 600 N 6th Street, proposed to feature a reduced lot area (per each unit) and reduced side setbacks.

The Bellevue Planning and Zoning Commission held a regular meeting on October 6, 2025, at which time the Commission voted to approve the subject application pursuant to conditions.

I. GENERAL BACKGROUND

1. Notice of this hearing is not required pursuant to Bellevue City Code Section 10-17-4(C).
2. The Commission was asked to disclose any conflicts of interest or *ex parte* communications on the subject application. No Commissioners noted any conflicts of interest or *ex parte* communications.
3. Attached to this report are the following exhibits:

Exhibit A—Application Materials

Document Name	Receipt of Last Revision
Application	June 17, 2025

Colored Building Elevations	September 16, 2025
Site & Building Plans	September 16, 2025
Affordable Housing Statement	September 17, 2025

Exhibit B—Department Head Comments

Chris Johnson, Bellevue Public Works Director – Monday, September 29, 2025

Exhibit C— Public Comments

No public comments were received regarding the subject application from any individuals or entities.

II. APPLICABLE DESIGN REVIEW STANDARDS & CRITERIA

BELLEVUE CITY CODE

10-6-2: PERMITTED USES: (Selection)

Multiple family dwellings, including townhouses, shall be allowed on no less than a six thousand (6,000) square foot lot per dwelling in the platted and unplatted portions of the City unless a reduced lot size is approved by the City through a planned unit development, annexation agreement, development agreement, design review or other similar process, or when the City deems it as a benefit for providing affordable housing. The Planning and Zoning Commission shall review and approve a design review application that requires a minimum of on-site parking for single-family and two-family dwellings and access is off an improved street, not alley and there is compliance with front, rear and side setbacks. The approved reduced lot size shall not be less than three thousand (3,000) square feet per dwelling unit.

FACTS: The subject property is 6,007 square feet in size, as identified in the Site &

Building Plans (Sheet C-1). As the subject application proposes two attached dwelling units, the lot size would be 3,003.5 square feet per unit.

The applicant is seeking Design Review Approval for a reduction of the reduced lot size, and a reduction in the side setbacks. In addition, the applicant has included an Affordable Housing Statement, and represents that the proposal would meet community housing needs.

The subject application includes four (4) on-site parking spaces. Bellevue City Code Section 10-21-4 requires 2 parking spaces per residential dwelling unit for duplex developments.

The site plan identifies vehicular access connected to an improved street rather than an alley.

The site plan identifies a twenty (20) foot front setback, twenty-five (25) foot garage front setback, four (4) foot side setbacks, and thirty-five (35) foot rear setback.

FINDINGS: The site plan identifies on-site parking in conformance with Bellevue City Code Section 10-21-4, and said parking is proposed to be accessed from an improved street, not an alley.

The applicant proposes a four (4) foot side setback where a six (6) foot setback is required; however, the Commission has determined that the application meets the requirements of Bellevue City Code Section 10-6-5(D)(2) for Design Review Approval of a reduction in the side setbacks, upon the satisfaction of Condition of Approval 3.

The Planning & Zoning Commission also finds that the subject application, by providing a relatively high density of residential dwelling units, would provide a degree of relief to the housing market. As such, the Planning & Zoning Commission finds that a reduction in the lot size per unit would be a benefit for providing affordable housing.

CONCLUSION: The subject application, upon satisfaction of the conditions of approval identified, meets the requirements for granting Design Review Approval for reduction of the required lot size per residential unit, and would also be a benefit for providing affordable housing.

10-6-5(D)(2): DIMENSIONAL, BULK AND BUILDING COVERAGE STANDARDS AND REQUIREMENTS:

No residence or outbuilding shall be placed closer than six feet (6') from any side or rear property line, unless otherwise approved by the City through an approved design review application, a planned unit development, annexation agreement, development agreement or other similar process. The reduced side and rear property line setbacks shall not be less than four feet (4'). All applications proposing to utilize reduced setbacks shall provide on site snow storage and not obstruct the vision triangle at an intersection. Setbacks shall be measured from the extremities of the building to the property line.

FACTS: The subject application seeks to reduce the required side setbacks from six (6) feet to four (4) feet.

The site plan identifies an area of the site for snow storage.

No features of the site will obstruct the relevant vision triangles.

FINDINGS: The subject application meets the requirements for on-site snow storage and the protection of the vision triangle.

The Planning & Zoning Commission finds it appropriate to apply a condition of approval stating: "The Applicant shall provide snow retention along the full length of the north side of the roof of the planned project."

Such condition should remedy the potential for snow sliding off the north side of the proposed structure's roof and impacting the property immediately to the north.

CONCLUSION: The subject application, upon satisfaction of the conditions of approval identified, meets all requirements for approval of reduced side setbacks to four (4) feet.

10-17-3(C): DESIGN REVIEW APPROVAL REQUIRED:

ADU (Accessory Dwelling Unit), Multi-Family And Townhouses In All Zoning Districts: No person shall commence construction or placement of any ADU, multi-family dwelling or townhouse, or make any addition, alteration or change to the exterior of any such building, or commence demolition, excluding necessary maintenance thereof, within any zoning district within the City without first having obtained design review approval therefor under the procedures, requirements, standards and criteria of this chapter. The design review application shall provide all the information required in section 10-17-4 of this chapter. In order to receive approval, the application shall meet the standards and criteria set forth in subsections 10-17-5A1 through A10, inclusive; subsections 10-17-5B1b through B1d; and subsections 10-17-5C1

through C7, inclusive, of this chapter. (Ord. 2015-02, 4-20-2015)

FACTS: The applicant proposes to construct two (2) attached dwelling units within the GR – General Residential Zoning District.

FINDINGS: The subject application requires design review approval and must meet the requirements of Bellevue City Code.

The subject application, with the application of the conditions of approval, is generally consistent with the requirements of Bellevue City Code.

CONCLUSION: The subject application, upon satisfaction of the conditions of approval identified, meets the requirements for granting Design Review Approval for construction of a multifamily development.

10-17-5(A)(7)(f): DESIGN REVIEW STANDARDS AND CRITERIA:

Building design shall prevent water from dripping or snow from sliding on pedestrian areas, entrances of buildings, garages and adjacent properties.

FACTS: The subject application seeks to reduce the required side setbacks from six (6) feet to four (4) feet.

The subject application proposes a structure with an asphalt-shingled roof, which is resistant to snow sliding. This roof will be at a moderate pitch.

A residential property is under construction on the parcel to the north of the subject property.

The subject application does not include a paved pedestrian walkway on

either side of structure; nor is there pedestrian accesses planned for the sides of the structure.

FINDINGS: The residential property lying immediately north of the subject property has potential to be impacted by snow sliding off of the north part of the roof of the proposed structure, which would have a reduced side setback of four (4) feet in this location.

The Planning & Zoning Commission finds it appropriate to apply a condition of approval stating: "Prior to the issuance of a building permit, the applicant shall provide revised building elevations and roof plans showing snow retention devices to be installed along the full length of the north side of the roof of the planned project." Such condition should remedy the potential for snow sliding off the north side of the proposed structure's roof and impacting the property immediately to the north.

CONCLUSION: The subject application, with the application of the conditions of approval, meets this requirement.

10-17-5(A)(9): DESIGN REVIEW STANDARDS AND CRITERIA:

Adequate enclosed on-site storage for trash shall be provided for each unit of accessory dwelling units, multi-family and townhouses.

FACTS: The site plan provides for on-site storage for trash to the side and rear of each townhouse, wherein trash cans can be stored.

FINDINGS: The Commission finds that the subject application provides adequate on-

site storage for trash.

CONCLUSION: The subject application meets this requirement.

10-17-5(A)(12): DESIGN REVIEW STANDARDS AND CRITERIA:

Multi-family and townhouses shall provide a minimum of two (2) on site parking spaces for each unit. Accessory dwelling unit parking requirements shall be one off street parking space for a one bedroom ADU and two (2) parking spaces for ADUs with two (2) to three (3) bedrooms.

FACTS: The subject application would provide four (4) on-site parking spaces: two (2) per unit.

FINDINGS: The subject application meets the required number of on-site parking spaces.

CONCLUSION: The subject application meets this requirement.

10-17-5(B)(2): DESIGN REVIEW STANDARDS AND CRITERIA:

Multi-Family And Townhouses: Multi-family and townhouses shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and location of the site. Multi-family and townhouse design, style, scale, and aesthetics shall blend with its neighborhood. There shall be no repetitive side by side development of buildings. The City is looking for individual buildings by varying types and styles to make for a pleasant streetscape experience.

FACTS: Within the two (2) parcels immediately north of the subject property, two (2) nearly-identical multi-family projects were previously approved and

permitted. The building elevations identify a different roofline and coloration of this proposal in comparison to the others in the vicinity in order to provide variation in appearance.

FINDINGS: The Planning & Zoning Commission finds that the subject application is in keeping with rural development patterns and architectural styles, and finds that revisions to the structure's front elevation provide adequate variation to prevent the emergence of a repetitive streetscape.

CONCLUSION: The subject application meets this requirement.

10-17-5(C)(6): DESIGN REVIEW STANDARDS AND CRITERIA:

Installation of adequate drip or other low consumption irrigation systems shall be required. Landscaping shall be properly irrigated and maintained, and landscaping, or any portion thereof, shall be replaced when it dies or is otherwise destroyed.

FACTS: The subject application included minimal indications of landscaping in the site plan. No references to irrigation methods were included. The applicant indicates that water-heavy landscaping is planned to be minimal, and that irrigation will be low-consumption.

FINDINGS: Despite the lack of clarity on landscaping and irrigation within the application materials, the Commission finds that this standard can be satisfied through the addition of the following condition of approval: "The Applicant shall provide a landscape plan to Staff, who will determine whether the irrigation system planned for the project will be sufficiently

low-consumption. This must be done before a building permit can be obtained.”

CONCLUSION: The subject application, with the application of the conditions of approval, meets this requirement.

II. DECISION AND ORDER

► **Motion:** Upon a Motion by Commissioner Grootveld and a second by Commissioner Heugly, and with a unanimous vote, the Bellevue Planning and Zoning Commission hereby **approves** of the subject application submitted by Mr. Ellis, finding that the application **complies** with the applicable criteria set forth in Bellevue City Code subject to the conditions of approval identified below (Commission additions underlined).

Conditions of Approval:

1. The Applicant shall obtain a building permit.
2. The Applicant shall provide a landscape plan to Staff, who will determine whether the irrigation system planned for the project will be sufficiently low-consumption. This must be done before a building permit can be obtained.
3. Prior to the issuance of a building permit, the applicant shall provide revised building elevations and roof plans showing snow retention devices to be installed along the full length of the north side of the roof of the planned project.

Notice of Expiration

Pursuant to Bellevue City Code Section 10-17-7(A), approval of the Design Review application shall expire if a building permit associated with the proposal are not complete within one (1) year of the final action by the Commission.

IT IS SO ORDERED this 3rd day of November, 2025

John Kurtz

Chair

Brian Parker

Community Development Director

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on the ____ day of November 2025, I served a true and correct filed copy of the within and foregoing document upon the parties named below, in the manner noted:

U.S. Mail

Derrick Ellis

via email

P.O. Box 221

hand delivered

Jerome, Idaho 83338

deconstruction8@gmail.com

CITY OF BELLEVUE

Carter Bullock

Planner



DR-25-09

Staff Report

Bellevue Planning & Zoning Commission

November 17, 2025

**Deck Rebuild
312 S Main Street**

Executive Summary

Description

An application for Design Review Approval to change the exterior of an existing building located at 312 South Main Street by rebuilding the structure's front deck.

Project Essentials

Review Type	Address	Proposal	Component(s) in Question	Zone
Design Review	312 S Main Street	Front Deck Rebuild	<ul style="list-style-type: none"> Modification to Building Exterior 	B - Business

Requirements

Requirement	Requirement Details	Compliant?
<i>Design</i>	Structures should reflect historic architecture and be of natural tones	YES
<i>Snow Storage</i>	Snow storage should be incorporated in design, and should not adversely affect neighboring properties	YES
<i>Water and Snow Shedding</i>	Structure design should not allow water and snow to fall onto pedestrian areas	YES
<i>Ingress & Egress</i>	Ingress & Egress should be safe and adequate for pedestrians and vehicles	YES

Project Location



Site Photo



Application Overview

Description

An application for Design Review Approval to rebuild the front deck of a building at 321 S Main Street.

Discussion

- The Applicant requests approval to entirely rebuild the front deck of a building within the B – Business Zone. Bellevue City Code Section 10-17-3(A) requires Design Review approval for any “addition, alteration, or change to or demolition of the exterior of any building.” Moreover, as there is no documentation that the existing deck is not a nonconforming/nonpermitted structure, Staff recommends it be treated as a new addition.
- The project would rebuild a preexisting, potentially nonconforming front deck. The deck is proposed to be built of wood and to be painted white. Staff has determined that the deck is compatible with historic styles, is timeless in design, and is of a color common to many historic structures on Main Street.
- The proposed project would not be a “Major Addition” and does not require street trees, curb and gutter improvements, or sidewalks built to City standards. (See City Code Section 10-17-5(D)).
- The project does not propose any new lighting.
- The project would preserve existing plantings and maintain adequate snow storage space. Existing trash storage locations are indicated in plans.
- Staff finds that the Project meets all necessary requirements for Design Review Approval.

Staff Recommendation

Actions

Staff recommends approval of the subject application, with the condition provided:

1. The Applicant shall obtain a building permit.

Suggested motion:

“I move that we approve DR-25-09 subject to the conditions identified in the staff report, and to direct Staff to prepare Findings of Fact, Conclusions of Law, and Decision documents reflecting this recommendation based on the record provided.”

Legal Description

AM Lot 3A, Block R, Original Plat of Bellevue Townsite, located within Section 25, Township 2 North, Range 18 East, B.M., City of Bellevue, Blaine County, Idaho.

Associated Documents

Document Name	Receipt of Last Revision
Application	November 12, 2025
Colored Building Elevations	November 12, 2025
Site & Building Plans	November 12, 2025

Public Noticing

Pursuant to Bellevue City Code Section 10-17-4(C), public notice is not required for Design Review applications.

Notice of Expiration

Pursuant to Bellevue City Code Section 10-17-7(A): “The term of design review approval shall be one year from the date of final action by the commission or, upon appeal, the date the approval is granted by the Council. Such approval is subject to changes in zoning or other regulations applicable to the project.”

Required Findings – Bellevue City Code

Portions of most relevance highlighted in BLUE.

10-17-3(A): DESIGN REVIEW APPROVAL REQUIRED:

A. Business, Limited Business/Residential, Light Industrial, Light Industrial/Mixed Business, And Transitional Districts: **No person shall commence construction repairs on any new building, or placement of any building upon property, or construction of any addition, alteration, or change to or demolition of the exterior of any building, excluding necessary maintenance, within the Business Zoning District, Limited Business/Residential Zoning District, Light Industrial/Mixed Business Zoning District, Light Industrial Zoning District, or Transitional Zoning District in the City without first receiving applicable design review approval as required by this chapter.** No application for a building permit, demolition permit or other permit shall be received or such permit issued by the City for such construction or other work, excluding necessary maintenance, until design review approval has been obtained as applicable herein. (Ord. 2015-02, 4-20-2015; amd. 2018 Code)10-17-

10-17-5 DESIGN REVIEW STANDARDS AND CRITERIA:

The following list of design review criteria shall be met by each applicant seeking design review approval. The Planning and Zoning Commission shall use said criteria to determine whether a project is to be approved or denied. A building which is allowed by right in this title may be reduced in bulk, height or other physical dimension by requirement of the commission only if found necessary to protect the public health, safety and/or welfare. If a development project is to be built in phases, each phase shall be subject to the design standards and criteria described in this section, and each phase independently shall meet said criteria and standards.

A. Site Planning:

1. Buildings shall be situated in a manner that preserves existing land forms, trees and other significant vegetation and shall not interrupt waterways or change other natural drainage patterns in a manner which adversely affects adjacent property. Removal of existing trees of greater than six inch (6") caliper is subject to review.
2. Buildings shall be sited so that their form does not break prominent natural ridge lines.
3. Buildings and parking areas shall be clustered to provide for more usable open space. All accesses from alleys shall require improvements installed by the applicant/owner when applicable including, but not limited to, an asphalt surface or compacted gravel surface as determined by the City Public Works Department. The applicant/owner shall be responsible for relocation of applicable City services/utilities, repair of any damaged City services, snow plowing and snow removal.
4. The alignment of roads and driveways shall follow the contours of the site, and cuts and fills shall be minimized.
5. Retaining walls shall be discouraged, and such walls over three feet (3') high shall be stepped to form a number of benches to be landscaped.
6. Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.
7. A snow storage plan, as a component of the site plan, is required. The plan shall comply with the following requirements:
 - a. Use of sidewalks and required parking areas for snow storage is prohibited.
 - b. Snow storage within one hundred feet (100') of stream banks is prohibited.
 - c. Use of landscaped areas for snow storage may be allowed under the approved snow storage plan.
 - d. Snow storage areas shall be incorporated in site design as well as designs that anticipate snow shedding areas.
 - e. Snow storage areas shall not adversely affect neighboring properties.
 - f. Building design shall prevent water from dripping or snow from sliding on pedestrian areas, entrances of buildings, garages and adjacent properties.
 - g. Snow storage areas for parking lots containing twenty (20) spaces or more shall be located on site in an amount which is equal to at least one-third (1/3) of the hard surfaces proposed with the project. The one-third (1/3) amount may be reduced by the use of a snowmelt system, or for good cause demonstrated.
 - h. Where snow storage areas cannot be provided on site because of existing buildings or approved building design, an adequate snow hauling plan shall be submitted for and subject to approval by the Planning and Zoning Commission.

The Planning and Zoning Commission may impose such restrictions on snow removal operations as are necessary to reduce the effects of noise or traffic on surrounding areas.

8. Visual impact of on site parking, service, trash and loading areas shall be minimized whenever possible by locating these areas to the rear of the building and providing screening with landscaping or fences from adjacent properties and public ways.

9. Adequate enclosed on site storage for trash shall be provided for each unit of accessory dwelling units, multi-family and townhouses.

10. All utilities shall be installed underground in accordance with the City standards and in a manner and location approved by the City Engineer.

11. Building and parking areas shall be designed to provide proper ingress and egress; safe, adequate and efficient pedestrian and vehicular traffic circulation; and the efficient and safe arrangement of on site parking, building location, and circulation.

12. Multi-family and townhouses shall provide a minimum of two (2) on site parking spaces for each unit. Accessory dwelling unit parking requirements shall be one off street parking space for a one bedroom ADU and two (2) parking spaces for ADUs with two (2) to three (3) bedrooms.

13. Adequate unobstructed access for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project shall be provided.

B. Architecture:

1. Generally:

a. Building and storefront design and construction shall reflect historical architecture styles and shall incorporate building materials, architectural design and features representative of that historical period in Bellevue between 1880 and 1910. That architectural style includes frame and brick construction, frame and shiplap siding construction, horizontal log construction, and similar westward expansion motifs. Also, building design and construction shall preserve and incorporate any such existing structures and features, signage, exterior fixtures and other items from that period.

b. A building exceeding eight thousand five hundred (8,500) square feet of building coverage shall incorporate a change in facade design, materials, color and/or height, or a combination thereof, that such building appears to be more than one building. These changes shall occur at a minimum of every fifty feet (50') of wall facade visible by the general public and at the ceiling line of the first floor on two-story buildings. In addition, the facade shall change in depth a minimum of two feet (2') at each such change in facade.

c. All buildings in the B Business District shall have a minimum setback from wall/foundation to property line adjacent to Main Street/Highway 75 of three feet (3'), providing an area for covered seating, planters, special event advertising units and displays of merchandise, in addition to the specified requirements of subsection B1b of this section.

d. All exterior mechanical equipment shall be screened on all sides with materials and colors matching the approved structure.

e. Mechanical equipment and solar panels shall be hidden or de-emphasized.

f. Metal siding shall not be permitted on buildings on parcels of real property abutting Main Street (State Highway 75) unless deemed appropriate by the Planning and Zoning Commission. All such buildings shall be constructed of or faced with materials that are similar in texture, finish, and appearance to natural materials. **The use of natural materials such as wood, brick and stone shall be encouraged, and exterior wall colors shall be of natural earth tones.**

g. Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.

h. Accessory dwelling unit sizes shall comply with section [10-2-1](#) of this title.

2. Multi-Family And Townhouses: Multi-family and townhouses shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and location of the site. Multi-family and townhouse design, style, scale, and aesthetics shall blend with its neighborhood. There shall be no repetitive side by side development of buildings. The City is looking for individual buildings by varying types and styles to make for a pleasant streetscape experience.

3. Accessory Dwelling Units (ADUs): ADUs shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and emulate the primary structure of the site. Design, style, scale, and esthetics shall blend with its neighborhood. Building materials and exterior architectural design shall be reflective of existing structures on the subject site and take into consideration the architectural style and materials of the general vicinity.

C. Landscaping; Parking; Lighting:

1. Exterior light fixtures and signs shall be nonglaring in design and installation so as not to adversely affect adjacent properties and public ways.

2. The design of fences, walls and retaining walls shall harmonize with the site and buildings in scale as well as in materials.

3. Preservation of significant natural features such as water, view, topography, and vegetation shall be incorporated in the landscape plan.

4. Site conditions, drought tolerance and local hardiness shall be considered to select appropriate plant species, including grasses for lawn areas.

5. Landscaping shall provide a substantial buffer between incompatible land uses and shall be used to screen from view and to mitigate visual impact of parking areas, loading areas, and garbage containers from adjacent properties and public ways.

6. Installation of adequate drip or other low consumption irrigation systems shall be required. Landscaping shall be properly irrigated and maintained, and landscaping, or any portion thereof, shall be replaced when it dies or is otherwise destroyed.

7. Adequate drainage shall be provided on site.

8. A minimum of ten percent (10%) of the parking area of parking lots with twenty (20) spaces or more shall be landscaped with islands, dividers, or a combination of the two. Parking lots with twenty (20) spaces or more will have a minimum of fifty percent (50%) of the required landscaped area installed adjacent to Main Street/Highway 75 unless otherwise approved by the commission due to extensive curb cuts and vision safety concerns.

9. All public rights-of-way adjacent to subject property including alleys shall be improved with, but not limited to, asphalt/concrete/compacted gravel, and applicable curbing, gutter, drainage, ADA standards, lighting, sidewalks and striping as recommended by the Public Works Director.

D. Curbs, Gutters, Sidewalks And Street Tree Requirements: Within the B Business, LB/R Limited Business/Residential, LI/B Light Industrial/Mixed Business and LI Light Industrial Zoning Districts,

curbs, gutters, sidewalks and street trees are required and shall be installed along the street frontage of each lot or parcel of real property upon which a new building or a "major addition" (defined as requiring a building permit and having a cost of construction exceeding \$50,000.00) is constructed. Such improvements shall be constructed in accordance with the applicable construction standards and ordinances of the City. (Ord. 2015-02, 4-20-2015)

Prepared by:



(Dated 11/12/2025)

Carter Bullock
Planner – Community Development
City of Bellevue
cbullock@bellevueidaho.us
208-309-6110

HAS

HOWLAND ARCHITECTURE
STUDIO, INC
307 E SPRUCE ST HAILEY ID 83333

DRAWINGS ISSUED:
11/11/2025 DESIGN REVIEW SET



312 S MAIN STREET BELLEVUE

SCHRANZ



312 S MAIN STREET - REPAIR OF EXISTING PORCH

GENERAL NOTES

Howland Architecture Studio, Inc has provided renderings and documentation for City Of Bellevue Design Review.

The Contractor shall be responsible for final detailing and coordination with existing building materials.

The Contractor shall visit the site and verify dimensions and conditions prior to commencing work.

The Contractor shall supervise and direct the Work, using the Contractor's best skill and attention. The Contractor shall be solely responsible for and have control over construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Work under the Contract.

The Contractor shall secure and pay for the building permit and other permits necessary for proper execution and completion of the Work. The Contractor shall be responsible for scheduling required permit inspections.

The Contractor shall comply with manufacturer's recommendations for storing building materials.

The Contractor shall be responsible for trash removal and disposal.

See Construction Activity Plan for additional requirements

FINISH CARPENTRY

Install finish carpentry work plumb, level, true and straight with no distortions. Scine and cut finish carpentry items to fit adjoining work. Install standing and running trim with the minimum number of joints possible. Cope at returns, mitre at corners to produce tight fitting joints. Anchor finish carpentry work securely to supports and substrates, using concealed fasteners and blind nailing where possible. Use fine finishing nails for exposed nailing, countersunk and filled flush with finished surface. Anchor all exterior siding and trim with stainless steel fasteners.

PAINTING

Comply with manufacturers recommendations for preparation and application. Surfaces must be clean and free of dirt, dust, and oil. Repair holes, crevices, and cracks with appropriate patching compound. Dull glossy surfaces. For new construction sand rough surfaces smooth. Putty nail holes and cracks and caulk door and window trim after surfaces have been primed.

FLASHING AND SHEET METAL

Comply with "Architectural Sheet Metal Manual" by SMACNA, for work required.



PROJECT INFORMATION

SCOPE OF WORK

REPAIR EXISTING PORCH

ADDRESS AND DESCRIPTION

312 S MAIN STREET
BELLEVUE
ZONING DISTRICT: BUSINESS
AM LOT 3A BLK R
BUILDING CODE SUMMARY

Elevations

A-201 EXISTING EXTERIOR ELEVATIONS

PROJECT TEAM

OWNER: PETER SCHRANZ
312 S MAIN ST, BELLEVUE, ID
PO BOX 2052, HAILEY, ID 83330
ARCHITECT: HOWLAND ARCHITECTURE STUDIO, INC
208.721.8246
THOMAS@HOWLANDARCHITECTURE.COM



COVER SHEET

G-001

OF 19
SHEET 13

HAS

HOWLAND ARCHITECTURE
STUDIO, INC
307 E SPRUCE ST HAILEY ID 83333

DRAWINGS ISSUED:
11.11.2025 DESIGN REVIEW SET



312 S MAIN STREET BELLEVUE

SCHRANZ

PROJECT NO: 2525
MODEL FILE:
2525-312 S Main Street.pln
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SHEET TITLE

MATERIALS

G-002

SHEET 14
OF 19

REPLACEMENT FOR NON-COMPLIANT EXPOSED BULB



REPAIRS TO EXISTING PORCH
REPLACE ROOF
REPLACE POSTS
REPLACE HAND RAIL
REPLACE DECK
REPAIRS TO MATCH THE EXISTING DESIGN



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STUDIO, INC
307 E SPRUCE ST HAILEY ID 83333

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312 S MAIN STREET BELLEVUE

SCHRANZ

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SHEET TITLE

ARCHITECTURAL SITE
PLAN

AS-001

OF 19
SHEET 15

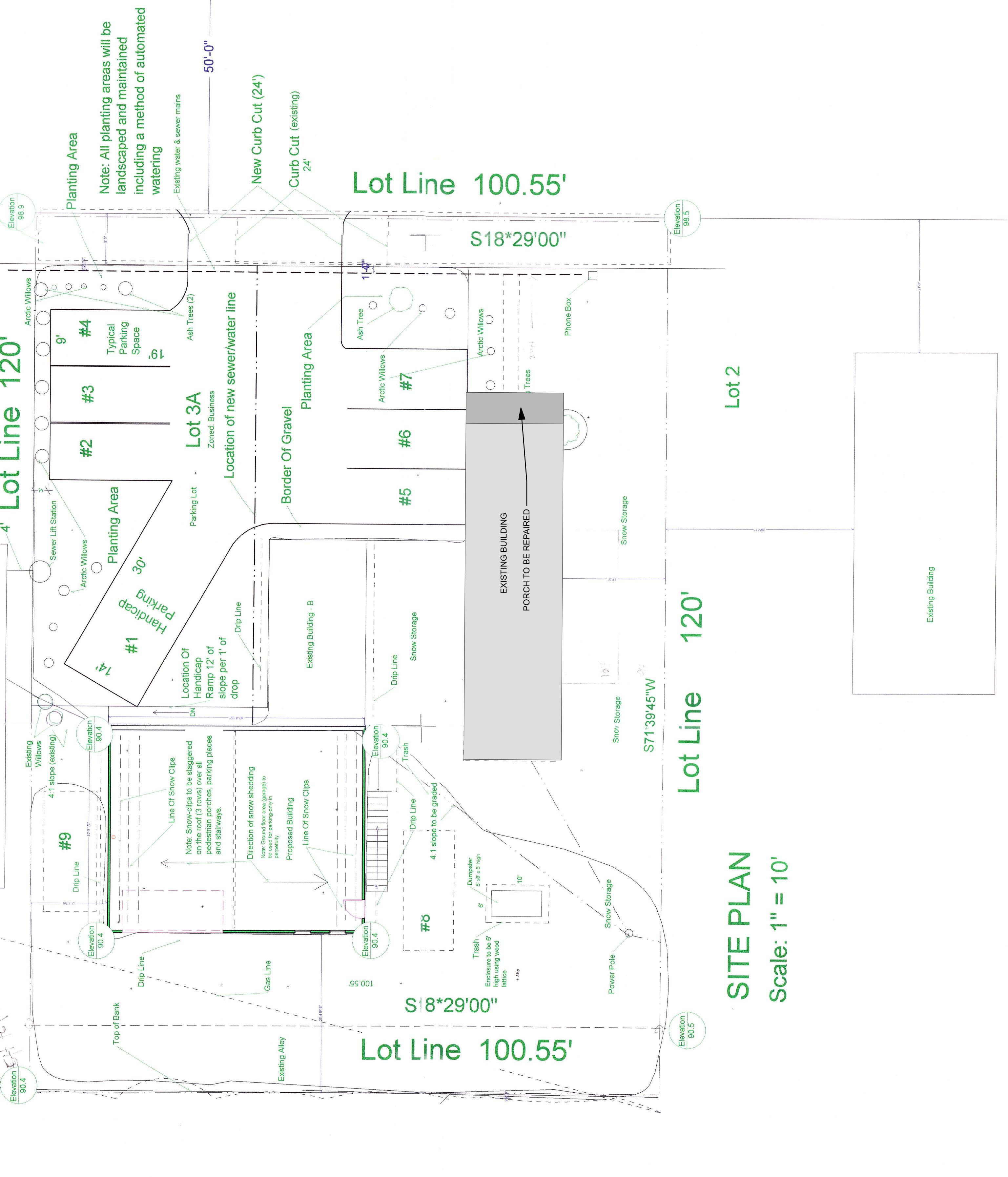
Existing Sidewalk 8' wide

Lot 5

S71*39'45" W
4' Lot Line 120'

Note: The location of the two closest fire hydrants is:
1. North 300' on Main Street
2. South 375' on Main Street
Note: Measured from center line of new bldg.

Existing Dentist Office



HAS

HOWLAND ARCHITECTURE
STUDIO, INC
307 E SPRUCE ST HAILEY ID 83333

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312 S MAIN STREET BELLEVUE

SCHRANZ

Parcel Information Map



11/11/2025, 11:44:59 AM

- County Boundary
- Road Centerlines
- Highway
- Road
- Parcels
- Waterbody
- 2024 Nearmap
- Red: Band_1
- Green: Band_2
- Blue: Band_3

312 S MAIN ST - FLOOD PLAIN INFORMATION

NOT TO SCALE

FLOOD PLAIN
INFORMATION

AS-002

SHEET 16
OF 19

HAS

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STUDIO, INC
307 E SPRUCE ST HAILEY ID 83333

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11/11/2025 DESIGN REVIEW SET



312 S MAIN STREET BELLEVUE

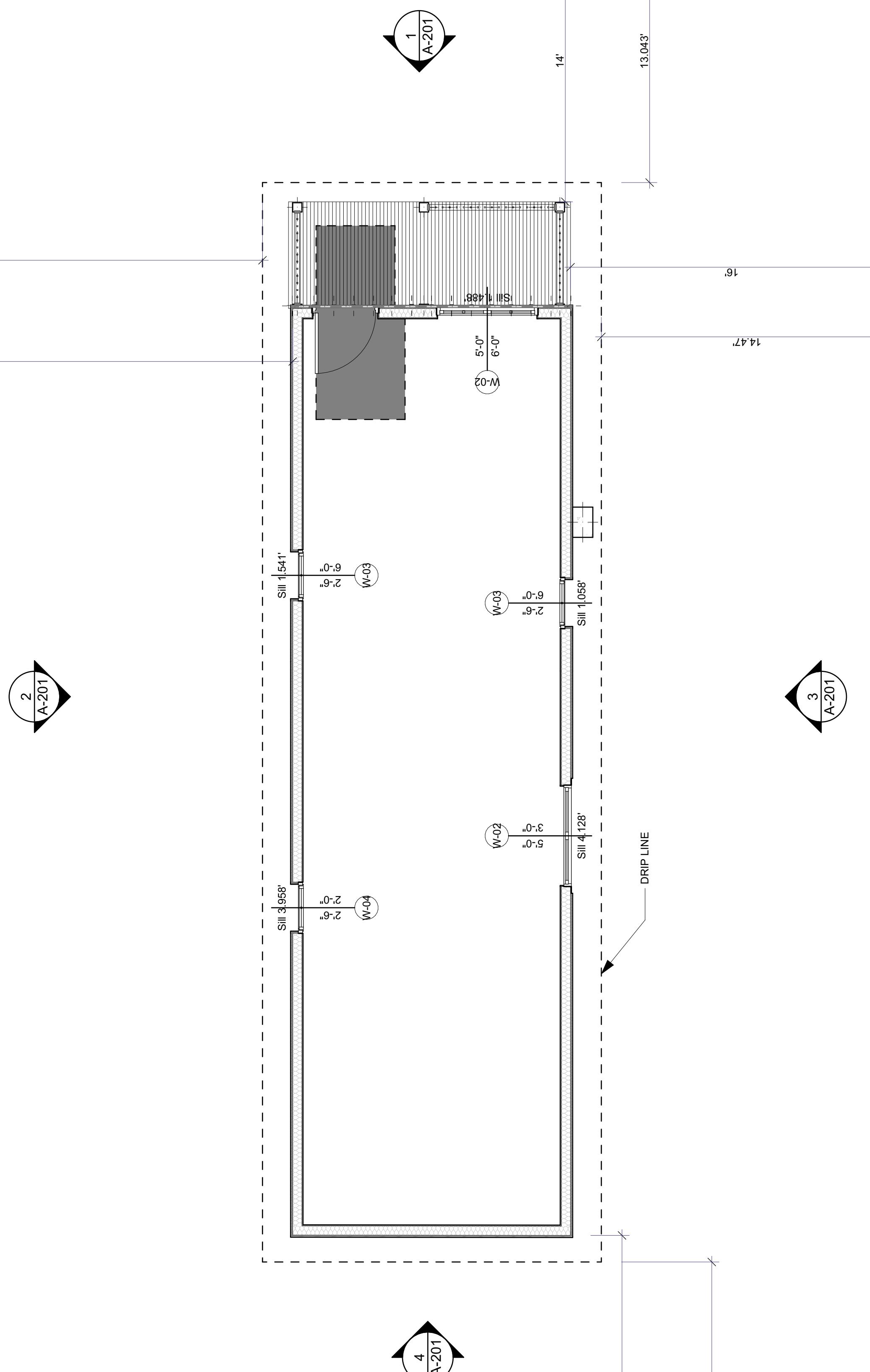
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PROJECT NO: 2525
MODEL FILE:
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SHEET TITLE

EXISTING PLAN VIEW

A-101

OF 19
SHEET 17



PORCH PLAN

SCALE: 1/4" = 1'-0"

HAS

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STUDIO, INC
307 E SPRUCE ST HAILEY ID 83333

DRAWINGS ISSUED:
11/11/2025 DESIGN REVIEW SET

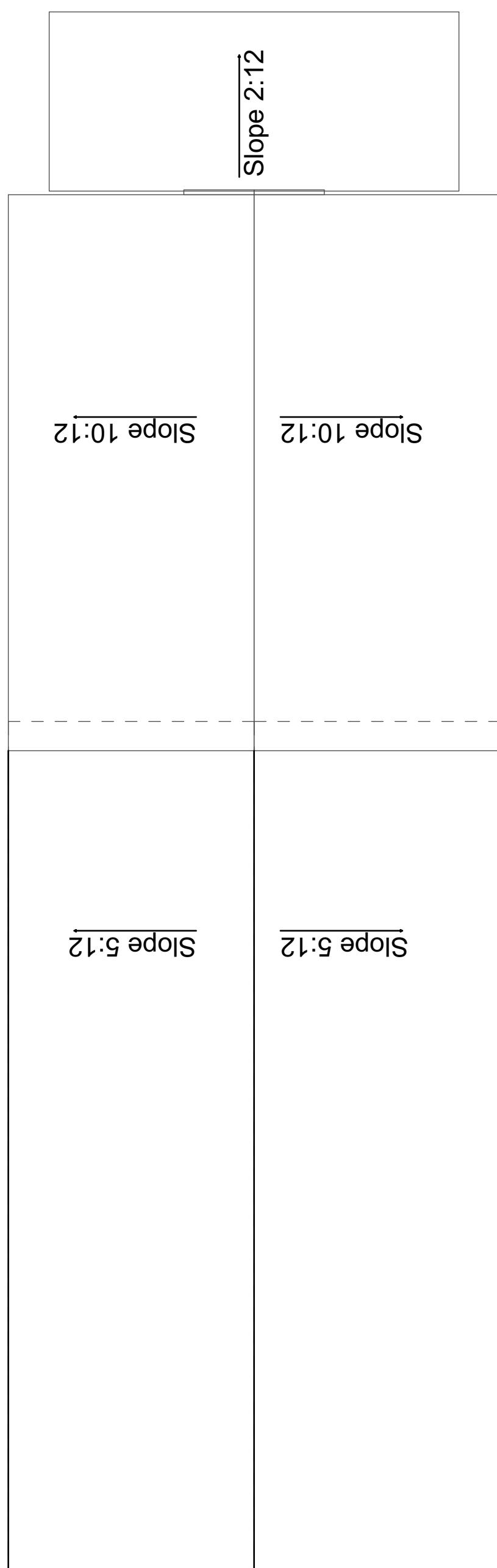


312 S MAIN STREET BELLEVUE

SCHRANZ

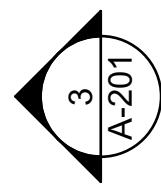
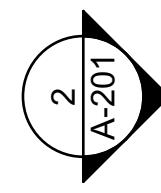
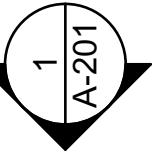
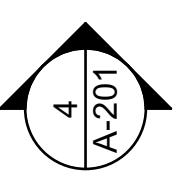
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MODEL FILE:
2525 312 S Main Street.pn
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SHEET TITLE

A-102
SHEET 18
OF 19



EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"



Slope 2:12

Slope 10:12

Slope 5:12

Slope 10:12

Slope 5:12

Slope 10:12

HAS

HOWLAND ARCHITECTURE
STUDIO, INC
307 E SPRUCE ST HAILEY ID 83333

DRAWINGS ISSUED:
11/11/2025 DESIGN REVIEW SET



312 S MAIN STREET BELLEVUE

SCHRANZ

PROJECT NO: 2525
MODEL FILE:
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SHEET TITLE

EXISTING EXTERIOR
ELEVATIONS

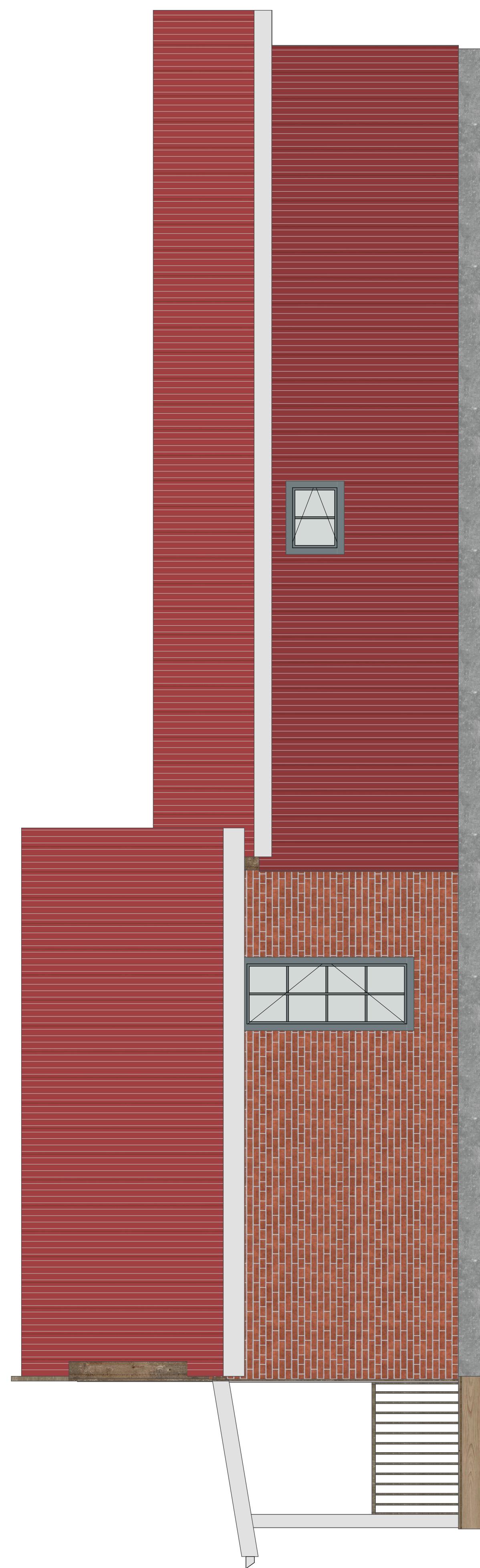
A-201

OF 19
SHEET 19



312 S MAIN ST - SOUTH ELEVATION

SCALE: 38° = 1'-0"



312 S MAIN ST - NORTH ELEVATION

SCALE: 38° = 1'-0"



312 S MAIN ST - EAST ELEVATION

SCALE: 38° = 1'-0"



City of Bellevue

115 E Pine Street

P. O. Box 825 Bellevue, ID 83313

208-788-2128 Fax 208-788-2092

Design Review Checklist- Business/Commercial

Applicant Information

Project Name: PORCH REPAIR - 312 S MAIN STREET

Legal Description Property: AM LOT 3A BLK R

Street Address: 312 S MAIN STREET, BELLEVUE, ID

Project Description: BEPAIR EXISTING POBCH

Zoning District: Business Limited Business/Res Light Industrial Transitional

Lot Sq. Ft.: 12000 SF Total Sq. Ft.: POBCH 70 SF

Required Documentation

*Applicant must furnish the following before this application can be processed:

SITE PLAN:

- Property Lines- Exterior boundary lines
- Contour lines- existing and proposed
- Building footprint- perimeter of the building plan
- Location of proposed and existing structures
- Site Orientation
- Vicinity map- depicting adjacent streets, flood plains, zoning and land use designations.
- Location parking lots/spaces- one ADA space is required
- Location and dimensions of snow storage area
- Location of dumpster enclosure
- Zoning District
- Floodplain/Riparian Zone- ***FPDP required if in Floodplain***
- Public right of ways
- Location Vehicular and pedestrian circulation patterns, property easements
- Location of Utilities (Must be underground)
- Location of mechanical or solar panels- must be screened on all sides & hidden
- Exterior lighting- Downcast, shielded- Need spec sheets
- ADU- additional trash storage and parking NO ADU
- Adequate unobstructed access for Emergency Services

N/A

ARCHITECTURE PLANS/DESIGN:

- All buildings and shopfront designs shall reflect historical styles
- Metal siding shall not be permitted on properties abutting Main Street/ HWY 75
- Building over 8,500 Sq. Ft. shall incorporate change in façade design, materials and color
- Verify setback of 3'
- All elevations with address #'s 1) BUILDING AREA 658 SF
- Building height Dimension 2) PORCH AREA 70 SF
- Floor plans all levels including basement

N/A

- Cross sections
- Roof design- all roofs must be engineered with snow load of 100 p. per Sq. Ft.
- All public rights-of-ways adjacent to subject property, including alleys shall be improved to asphalt, concrete, compacted gravel, applicable curbing,
 - 1) NO CHANGES TO ROOF DESIGN
 - 2) NO ADU
 - 3) NO PROPOSED CHANGES TO LANDSCAPING AND IRRIGATION
 - 4) NO CHANGE TO EXISTING FENCES
 - 5) NO CHANGES PROPOSED DRAINAGE PLAN
- ADU sizes shall comply with 10-2-1 ADU unit size table

LANDSCAPING/PARKING PLAN:

- Plan to include proposed locations of trees, plants,
- Drip or low consumption irrigation system for landscaping
- Drought tolerant grass, plant, brush & tree species
- Landscaping shall provide natural buffer between incompatible land uses
- Design of fences, walls and retaining walls shall produce pleasing visual combination
- Fence Height- 4' Front- 6' Back
- All public rights-of-ways adjacent to subject property, including alleys shall be improved to asphalt, concrete, compacted gravel, applicable curbing, gutter, drainage, ADA standards, sidewalks and striping.
- Curbs, gutters, sidewalks, and street trees are required and shall be installed along the street frontage
- Adequate Drainage plan
- Drywell location- MUST be registered before CO



Bellevue Comprehensive Plan Update

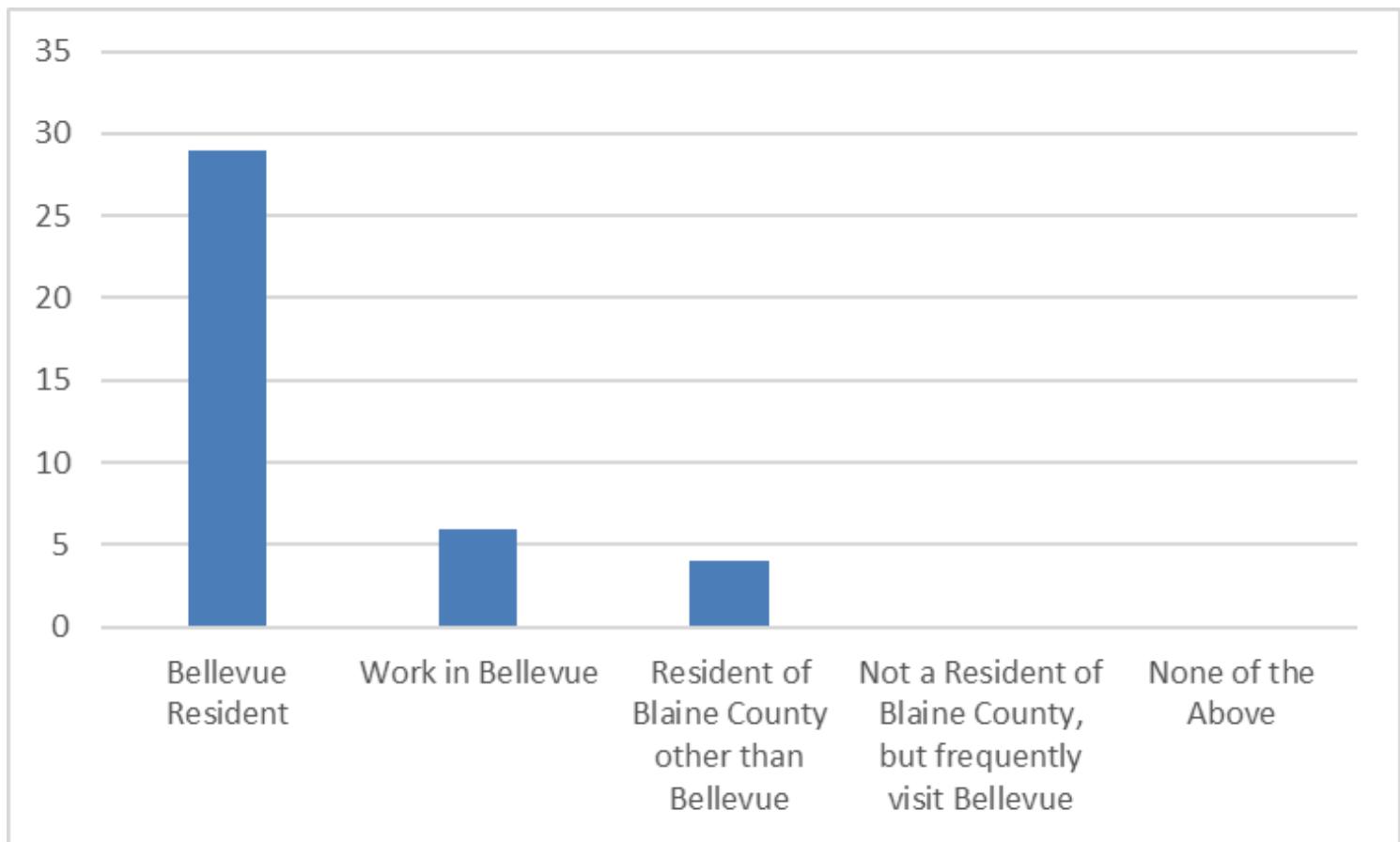
September Survey Analysis

September's survey was themed under "Existing Conditions," meaning it was intended to provide a snapshot of how the community felt we were doing. This survey received 43 completed responses. While this is not as high as Staff would like, it is one component in a larger engagement strategy and the first survey out.

Question: Would you prefer this survey in English or Spanish?

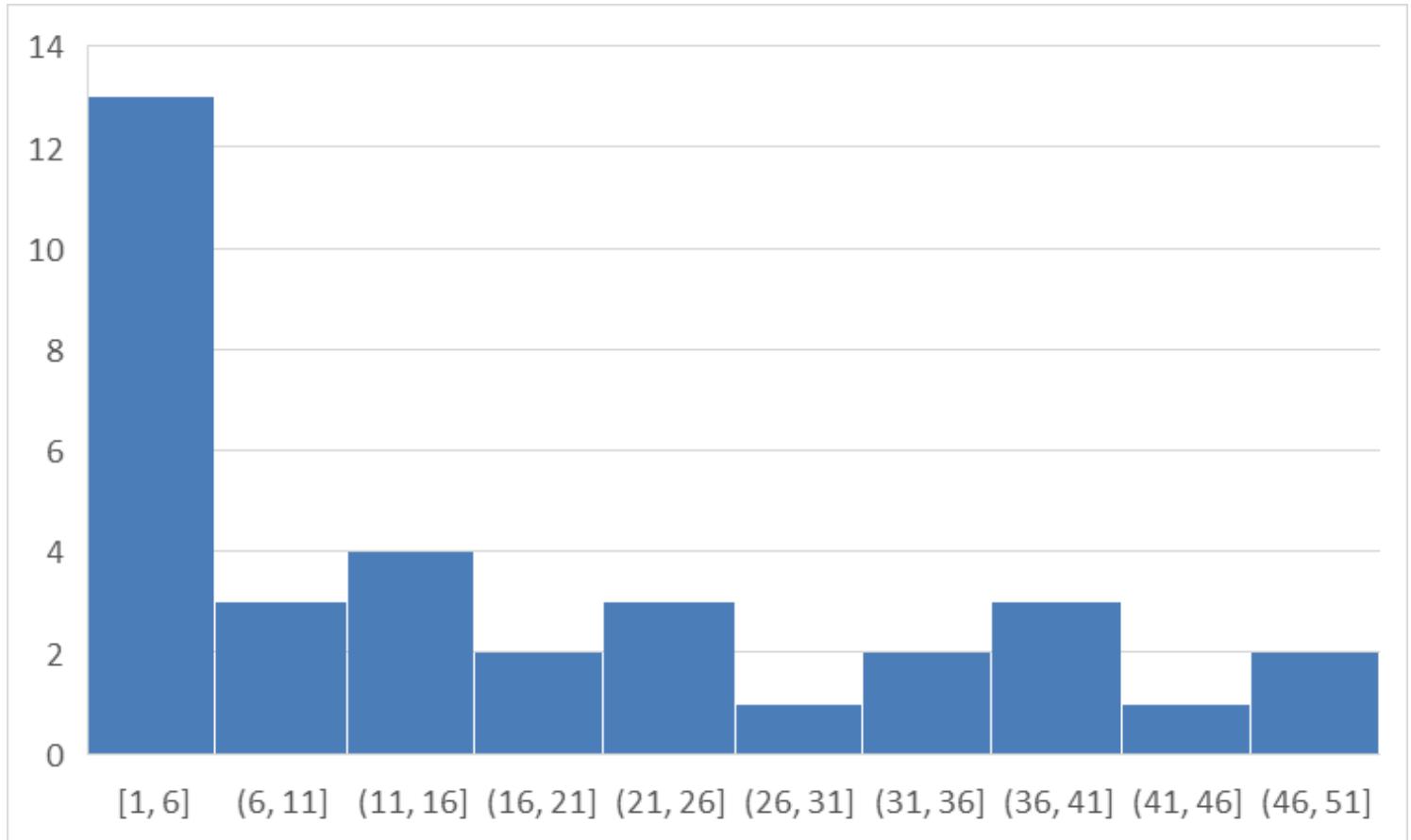
All completed responses were in English. One individual started the survey in Spanish, but did not complete it. Staff is working to improve engagement and outreach with the Spanish speaking community.

Question: Which of these best describes you (check all that apply)?



The majority of respondents are Bellevue residents. As individuals were able to check multiple boxes, the total number of responses to this question is greater than the total number of responses.

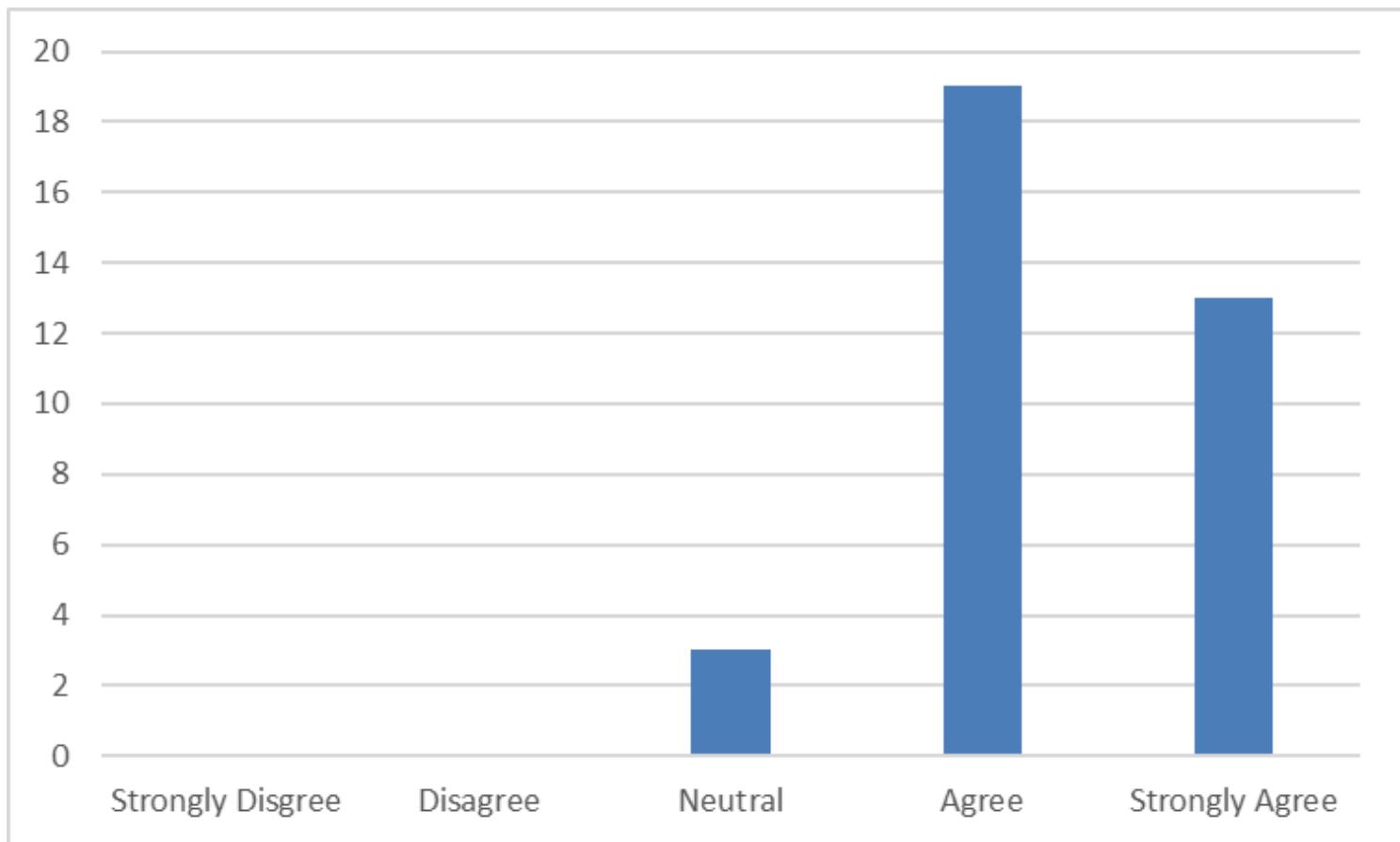
Question: How long have you been connected to Bellevue?



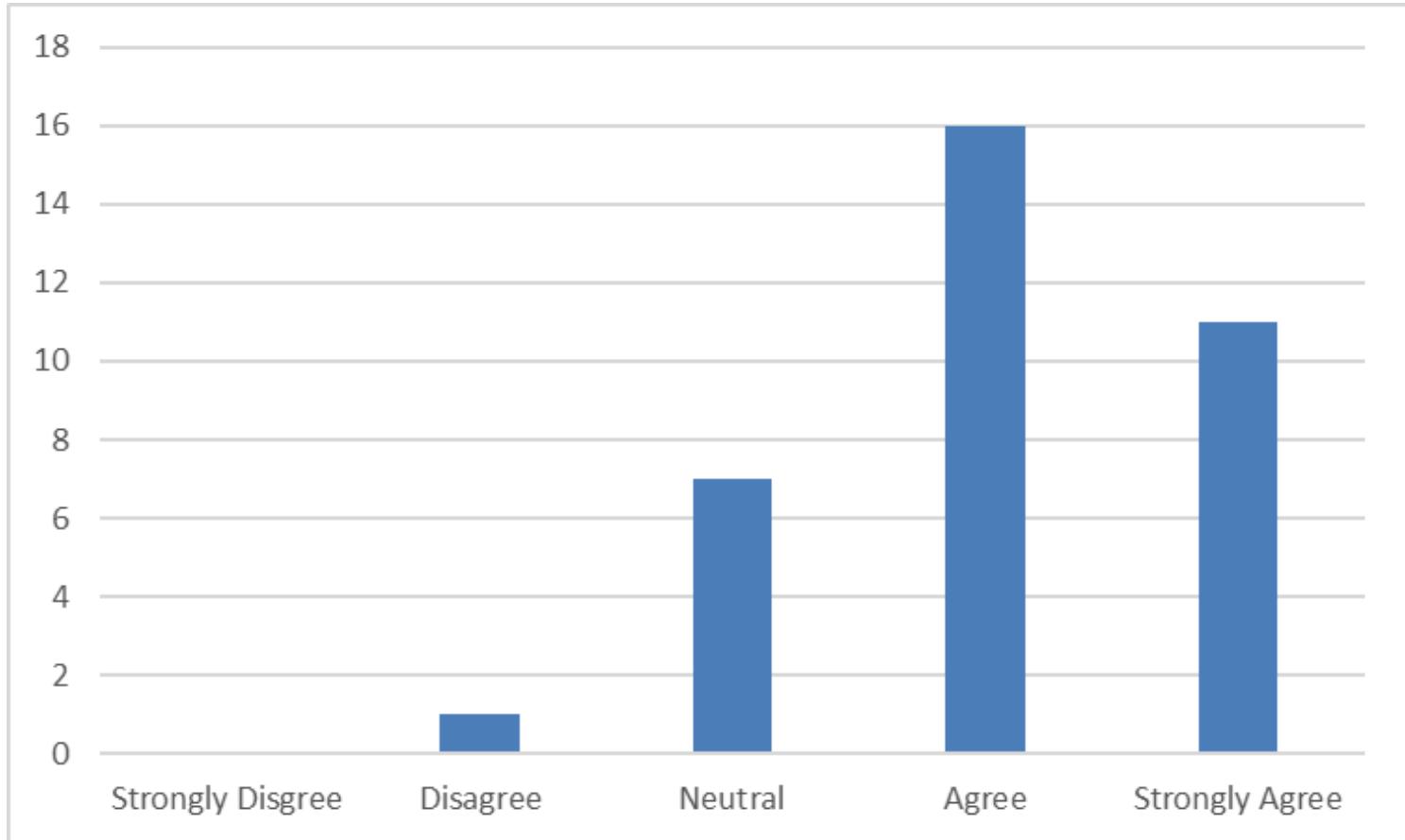
The majority of respondents are relatively new residents. In total, the respondents of the survey have **597** years of experience with Bellevue.

Question Block: Please tell us how strongly you agree with the following:

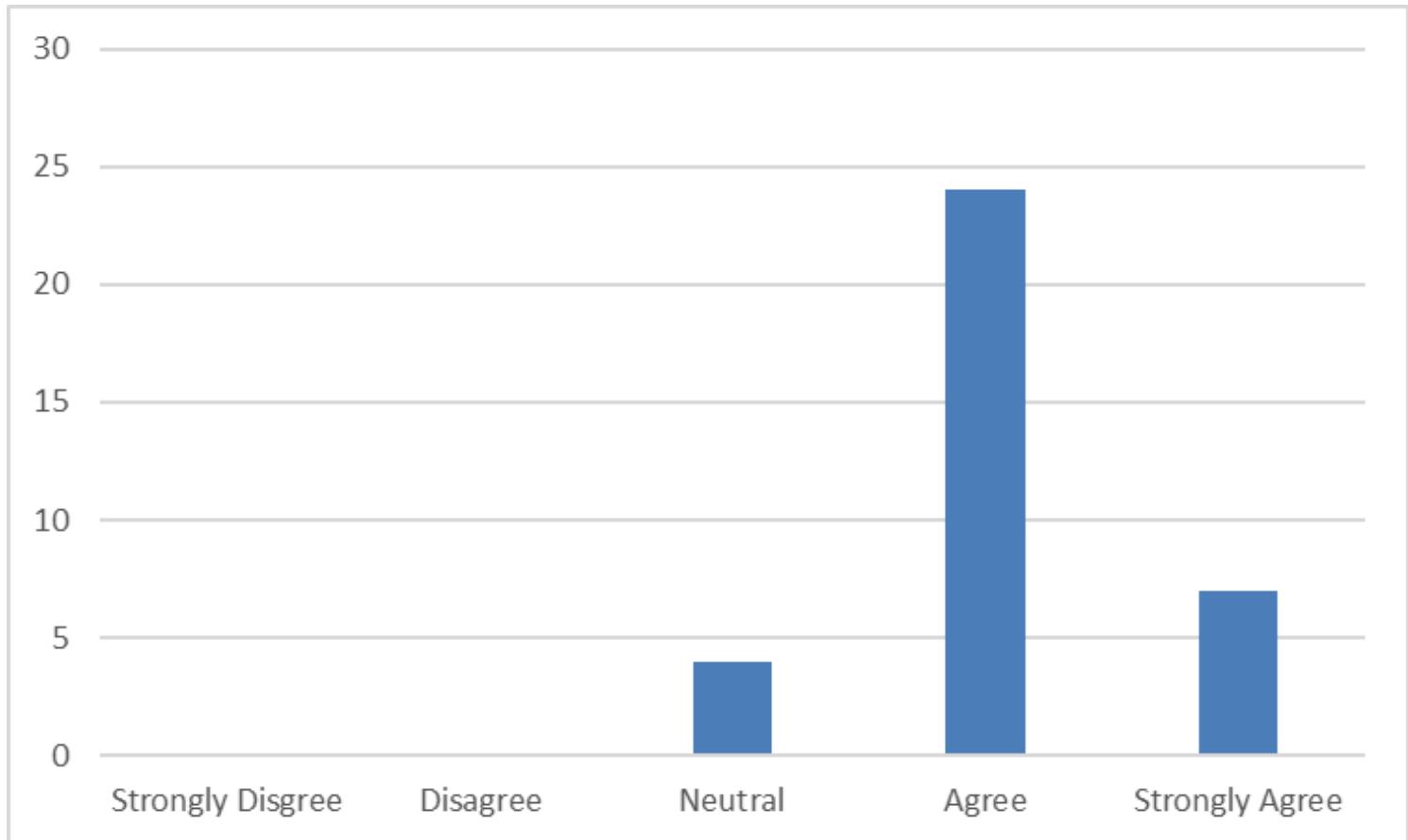
I feel safe and welcome in Bellevue



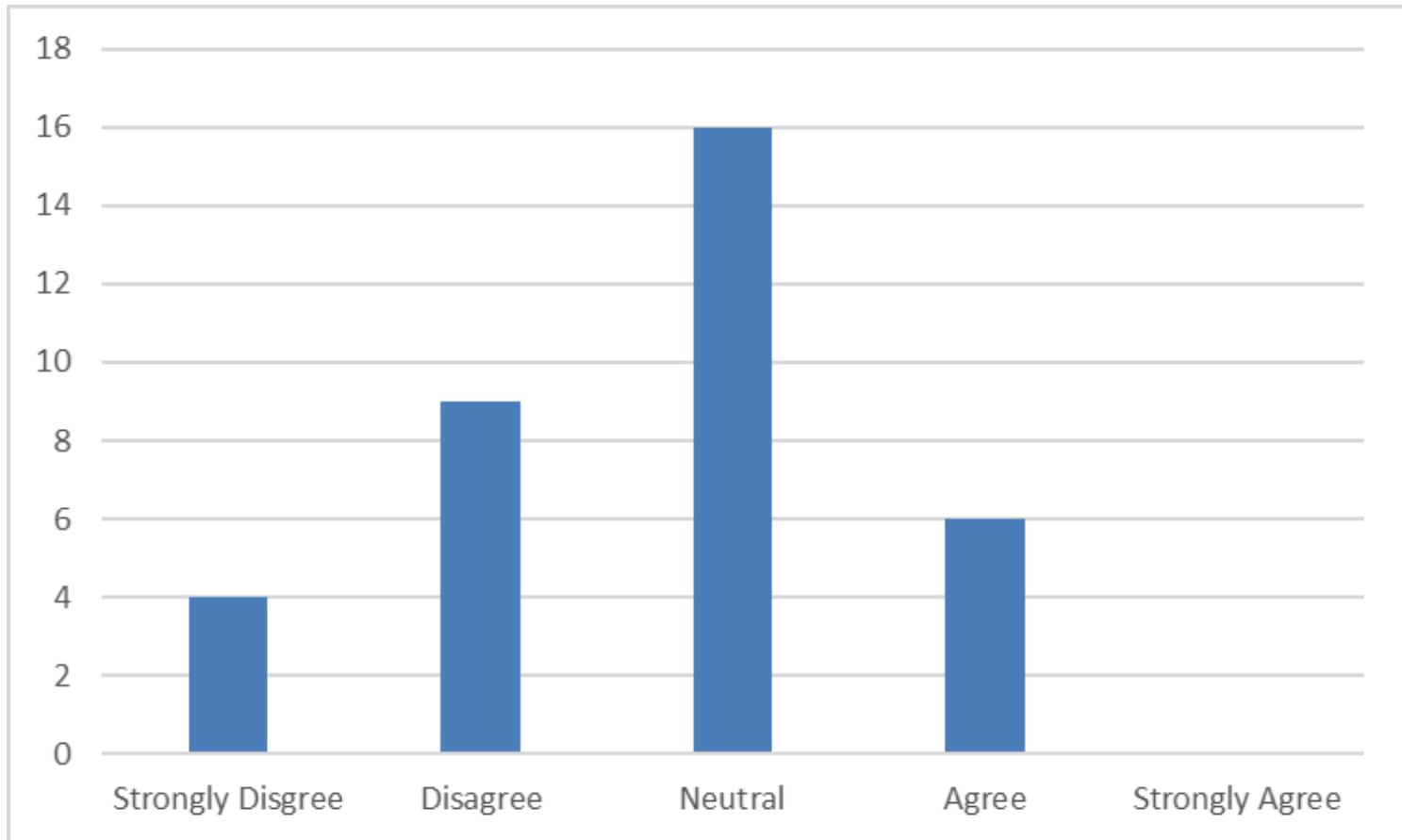
Bellevue is a great place to live



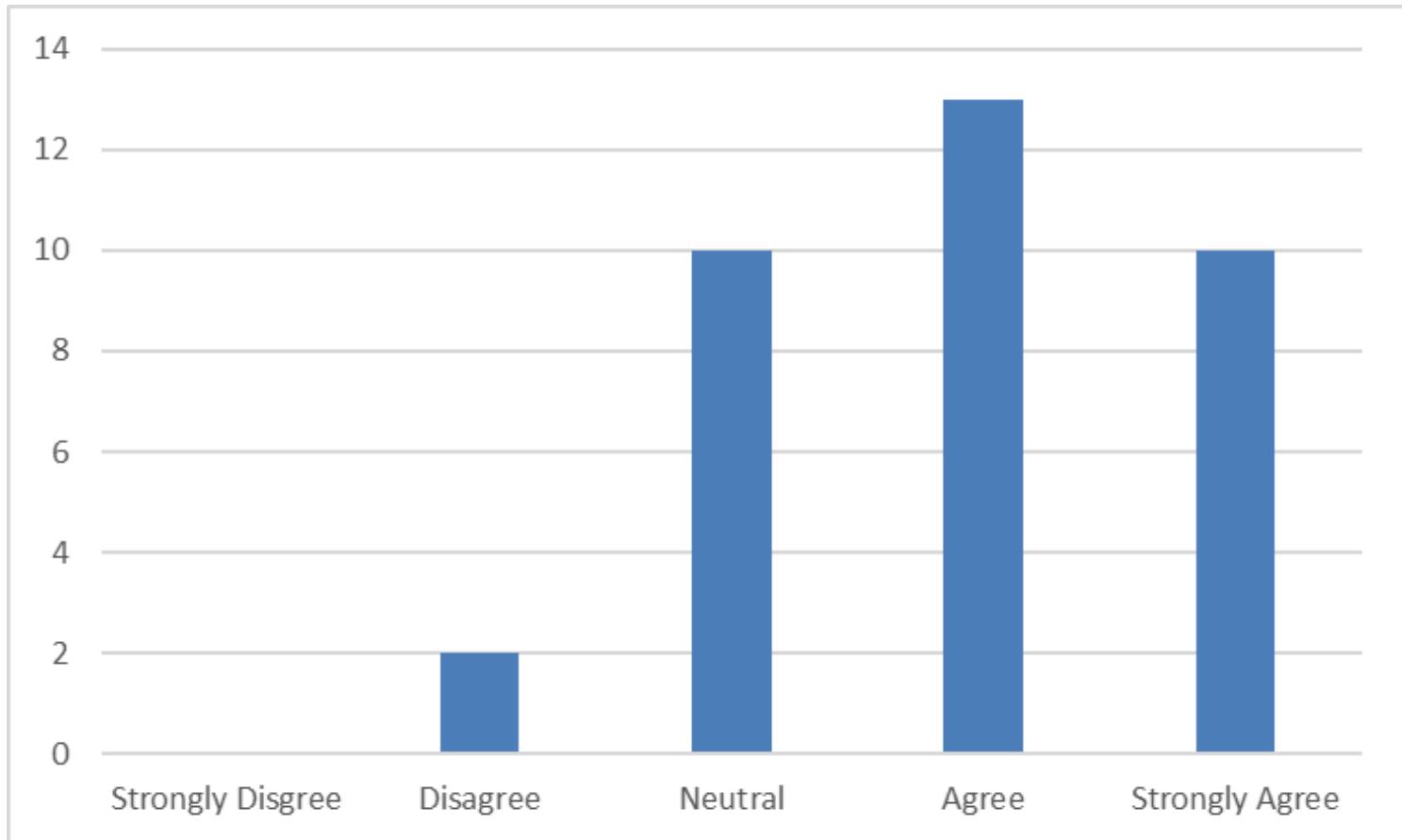
I know my neighbors



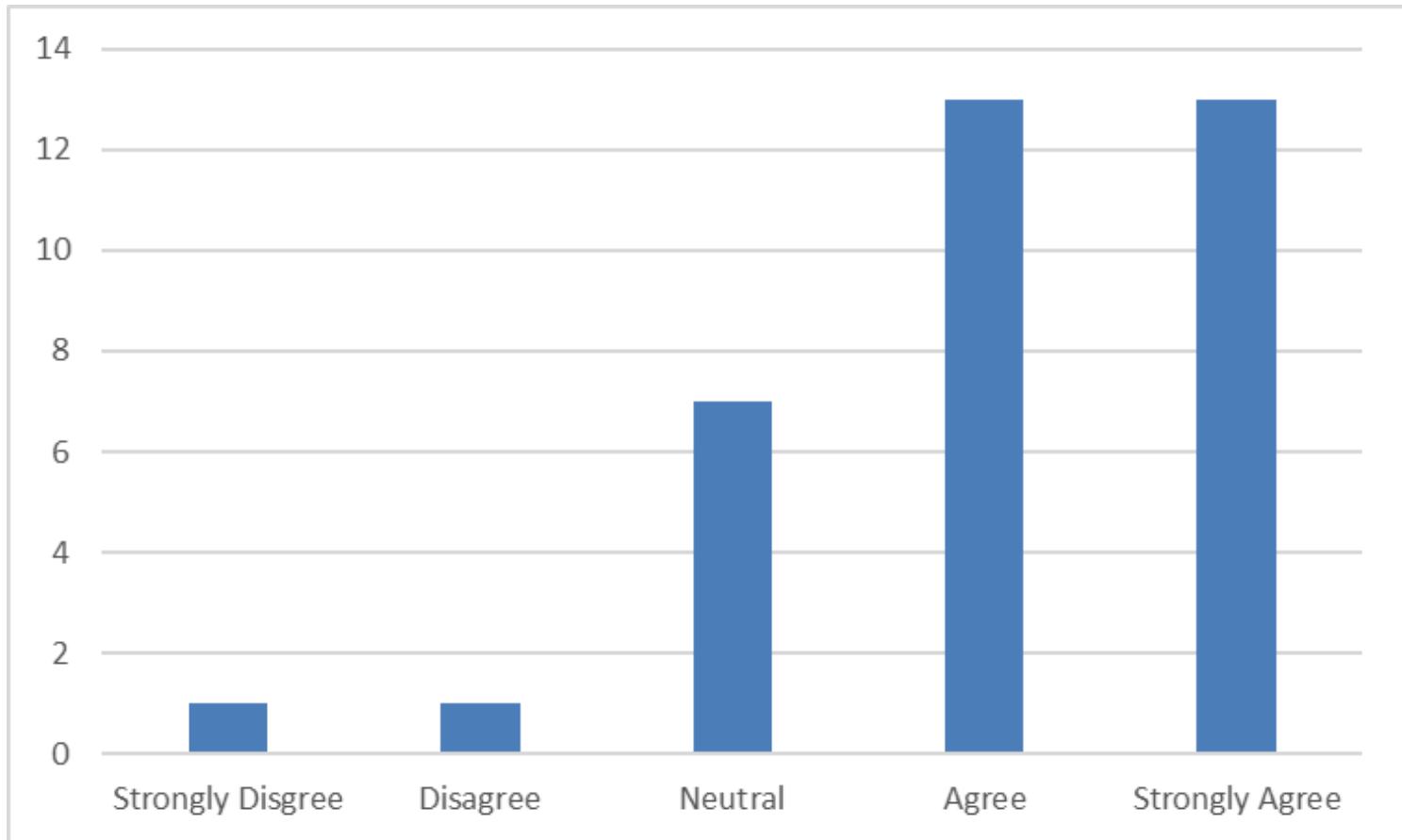
I feel well served by Bellevue's infrastructure



I am confident that I will still be in Bellevue in 5 years

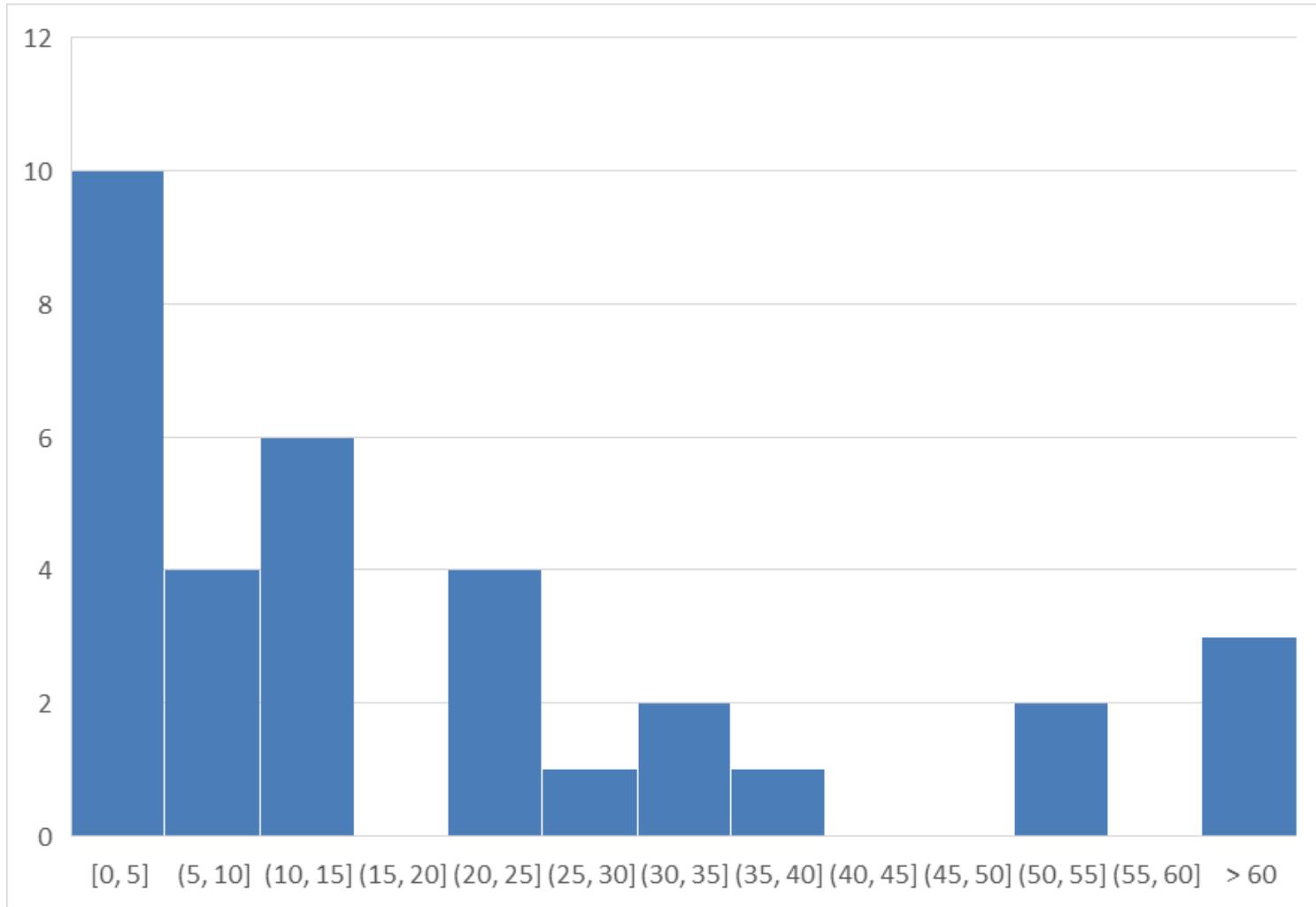


I am proud to be a part of Bellevue



Generally, respondents showed pride in the community and enjoyed being part of Bellevue. Unsurprisingly, there was a desire for improvements to infrastructure. Additional comments were accepted at the end of this question block. Comments generally focused on infrastructure and code enforcement.

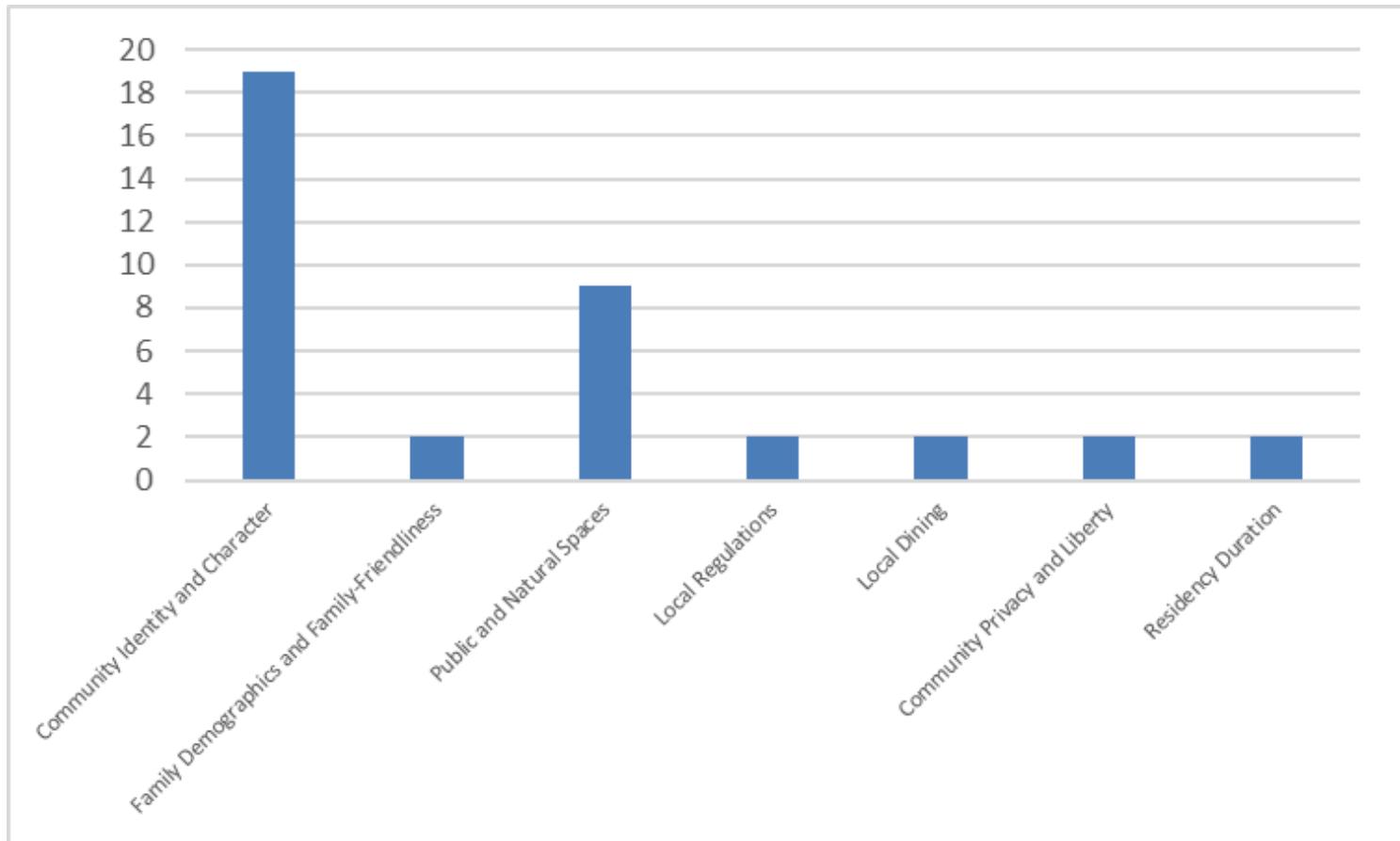
Question: How long is your normal commute to work?



These ranges are generally consistent with travel times within Bellevue, to Hailey, and to Ketchum/Sun Valley.

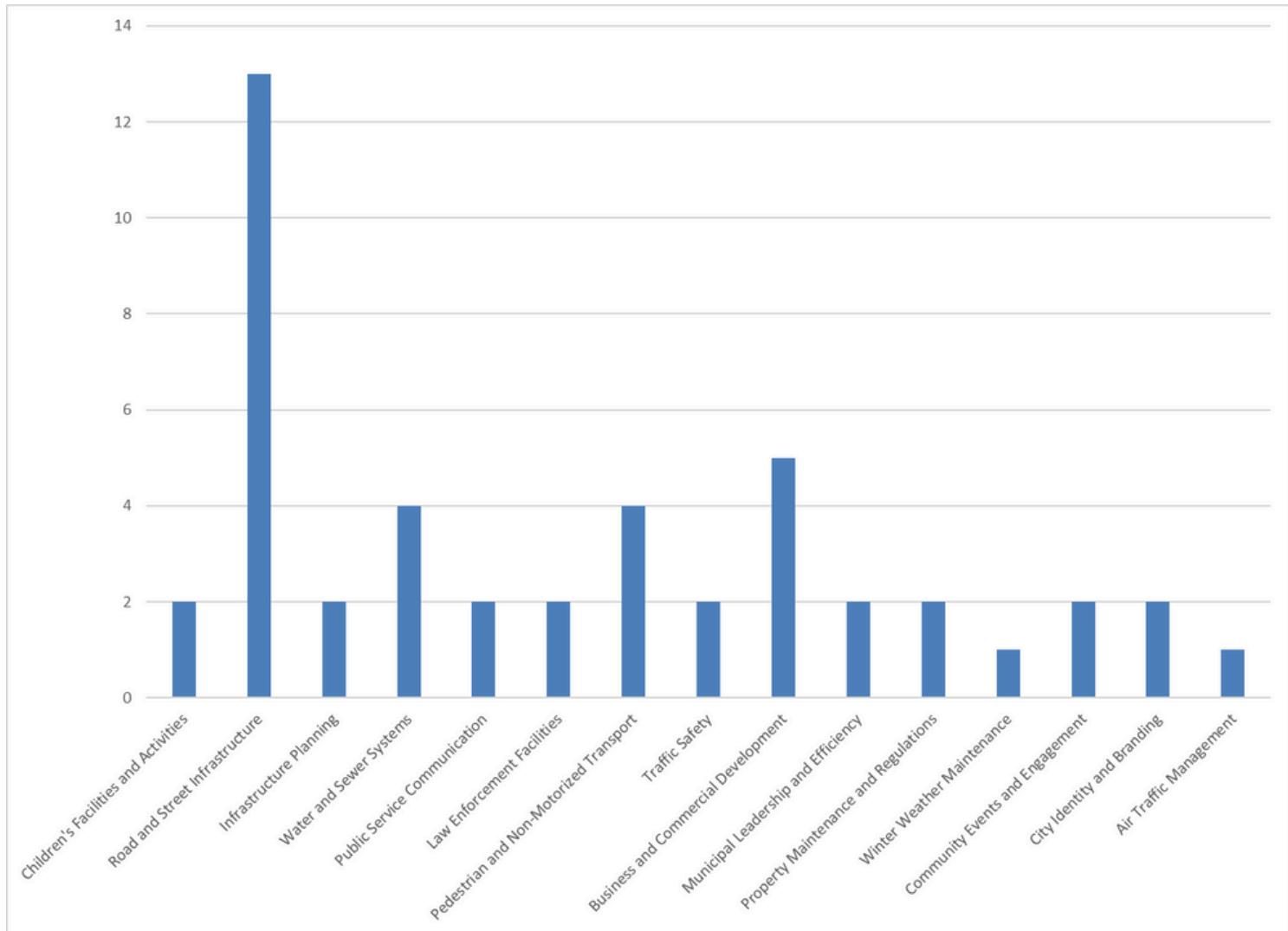
Question: What is your favorite thing about Bellevue?

Note: This was an open-ended response. The chart below is generated using SurveyMonkey's Thematic Analysis Tool.



Question: What is something Bellevue could improve upon?

Note: This was an open-ended response. The chart below is generated using SurveyMonkey's Thematic Analysis Tool.



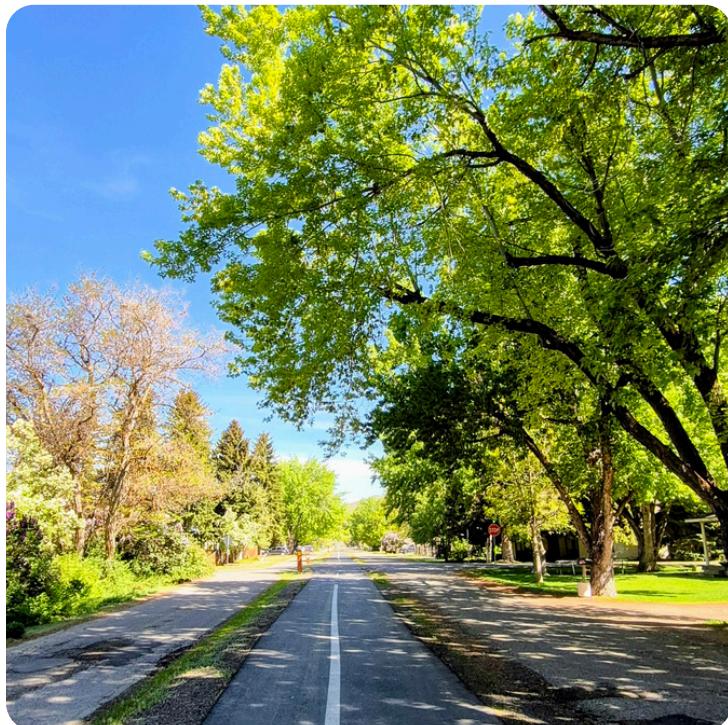


Bellevue Comprehensive Plan Update

Vision & Plan Framework

The Vision is the central goal for the community to strive towards through the actions established in the Comprehensive Plan. The statement is written in the present tense from the perspective of a future resident. From the Vision, key themes were developed and will serve as the framework for the Plan.

Vision



Bellevue is a community that accommodates and supports a diverse range of residents, demonstrates strong stewardship of nature and public spaces, cultivates gathering and connection, is supported by robust infrastructure and a variety of transportation systems, and provides opportunities for residents to live and work within the community.

Key Themes

Accommodating and Diverse



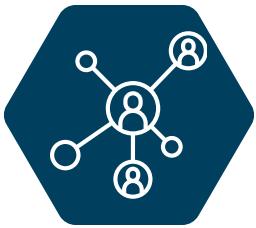
Bellevue is a great place to live because of the people who call it home. Our shared story grows stronger as new residents bring their own experiences and traditions, and we take pride in being a community that welcomes everyone.

Stewardship of Nature and Public Spaces

We are very fortunate to live in a beautiful valley with ample opportunities to recreate and engage with nature. With these opportunities comes a shared responsibility to holistically care for these resources and enhance them through our built environment.



Gathering and Sense of Community



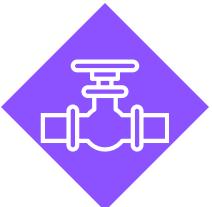
Bellevue honors its history and heritage by fostering strong connections among neighbors and creating shared spaces that bring people together. Through gatherings, celebrations, and everyday interactions, we strengthen the sense of belonging that defines our community.

Opportunities to Live and Work within the Community

Bellevue desires to evolve beyond a place where people sleep into a complete, resilient community. Through support for local business, creative entrepreneurship, and housing options for all, Bellevue is cultivating an economy that reflects the community's character and independence.



Quality Infrastructure



Bellevue is focused on the foundations that sustain a thriving community. By emphasizing maintenance, efficiency, and reliability of our utilities, transportation systems, and governance, we are creating the conditions for our residents and businesses to live well, work locally, and take pride in the place they call home.