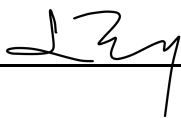




City of Bellevue

115 E Pine Street
P. O. Box 825 Bellevue, ID 83313
208-788-2128 Fax 208-788-2092

Design Review Application

Applicant Information			
Business / Project Name: Car Doctor			
Owner / Applicant Name: Greg Ballantyne			
Phone #: 208-481-1530	Fax #:	email: carquack@gmail.com	
Service Location: 32 Gannett Road Bellevue, ID 83313			
Mailing Address: PO Box 2485 Hailey, ID 83333			
Property Physical Address: 32 Gannett Road Bellevue, ID 83313			
Property Legal Description: Southern Belle Business Park Lot 3 Blk 6			
Business Type: <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Other LLC			
Current Zoning: <input type="checkbox"/> Business <input type="checkbox"/> Limited Business/Res <input checked="" type="checkbox"/> Light Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Transitional			
Project Description			
Business / Project Description: Personal Storage			
Structure Design: <input checked="" type="checkbox"/> Stick Built <input type="checkbox"/> Modular <input type="checkbox"/> Manufactured/ Mobile (HUD) <input type="checkbox"/> Container			
Existing Sq Ft: 0	New Sq Ft: 2,705	Total Sq. Ft: 2,705	Lot Sq Ft: 6,530
Living Quarters Included? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes , please describe: _____			
Parking Requirements: (See City Code- Zoning Regulations Title 10) 5 spaces at 9'-0" x 19'-0" _____			
Acknowledgement			
<p>*This application is due no less than 15 days prior to the next regularly scheduled meeting date of the Bellevue Planning & Zoning Commission with all of the required material itemized in Chapter 19, Design Review, and Bellevue City Ordinance 86-03.</p> <p>*Design Review Application Fees: Non-Residential = Base fee \$400.00 + \$25.00 per each 1,000 square feet of gross floor area Residential = \$Base fee \$200.00 1-6 unites. 7+ unites an additional \$25.00 per unit will be charged.</p> <p>*ALL LEGAL, ENGINEERING AND OTHER CONSULTANT FEES SHALL BE REIMBURSED AT 100%</p>			
Applicant's Signature: _____ 		Date: 06-03-2025	
Official Use Only			
Date Received: _____ Check #: _____ CD Director Signature: _____			



DESIGN REVIEW APPLICATION PROCEDURES

CITY OF BELLEVUE- COMMUNITY DEVELOPMENT DEPARTMENT
115 East Pine Street/ P.O. Box 825/ Bellevue, ID 83313
Telephone: (208) 788-2128 ext. 8

The following materials and information together with the application form and fees shall constitute a complete application for design review and shall be filed by the applicant prior to consideration of the application by the Commission.

- 1) Site map of the property upon which the proposed construction is to occur shall be submitted in sufficient detail to show the following:**
 - a) Exterior boundary lines of the property together with dimensions;
 - b) Location of proposed and existing structures with dimensions thereof showing the setback of each structure from the nearest property line;
 - c) Location of on-site parking spaces, ADA accessible spaces, loading zones and access thereto, including the dimensions of the spaces and the width and length of access;
 - d) Location and dimensions of snow storage areas;
 - e) Location of dumpster and/or garbage can storage areas including the dimensions and proposed fencing or other screening;
 - f) Designation of the zoning district in which the project is located;
 - g) Location of vehicular and pedestrian circulation patterns, easements and proposed improvements with regard thereto;
 - h) Contour lines of five (5) foot intervals to show proposed slope and topography of the property;
 - i) Location of existing and proposed adjacent street rights-of-way, fire hydrants, sewer lines, water lines and other utilities, and plans for the separate connection to and extension of each utility to each unit or building;
 - j) Indication of direction of snow slide from roof and drip line of all buildings
 - k) Location of existing structures on adjacent properties;
 - l) Location of onsite trash and personal property storage.
 - m) (1) one large and (7) seven reduced vicinity maps depicting adjacent streets, flood plains, applicable zoning and comprehensive land use designations.
- 2) Preliminary Schematic Drawings of the proposed construction shall be submitted to show the following:**
 - a) Floor plan at not less than one-eighth (1/8) scale;
 - b) (7) seven reduced exterior elevations with facades and other exterior elements shown in color;
 - c) Type and color of exterior materials and roofing with samples thereof;
 - d) Location and type of exterior lighting;
 - e) A colored model shall be submitted for all new buildings not including additions or buildings less than 3,000 sq. ft.
- 3) Landscape Plan and legend shall be submitted in sufficient detail to show the following:**
 - a) (1) one large and (7) seven proposed landscape plans of the project including calculations depicting percentage of land area being landscaped, types and size of trees, ground cover and other vegetation;
 - b) Proposed excavation or land fill including resulting slope grades;
 - c) Location and height of walls or fences;
 - d) Drip or other low consumption irrigation system for landscaping;
 - e) Drainage plan including off-site improvements.
 - f) Street trees shall be a minimum of 3" caliper and planted at spacing not less than one tree for every 35' of public street right-of-way, excluding alleys. All trees shall comply with the Bellevue Street Tree guidelines and obtain an approved encroachment permit from ITD or City of Bellevue.

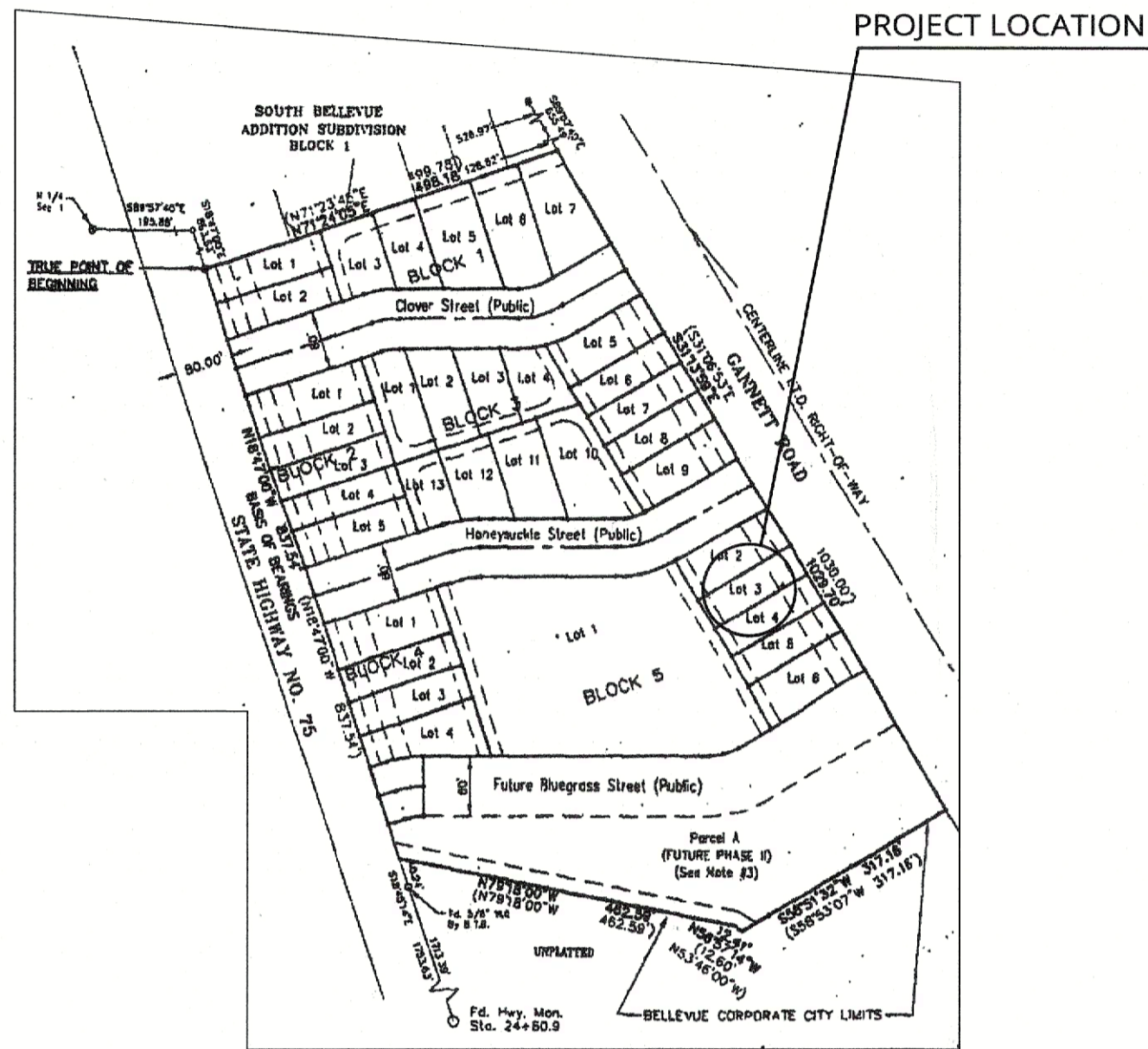
SOUTHERN BELLE BUSINESS PARK LOT 3

32 GANNETT ROAD

BELLEVEUE, IDAHO 83313

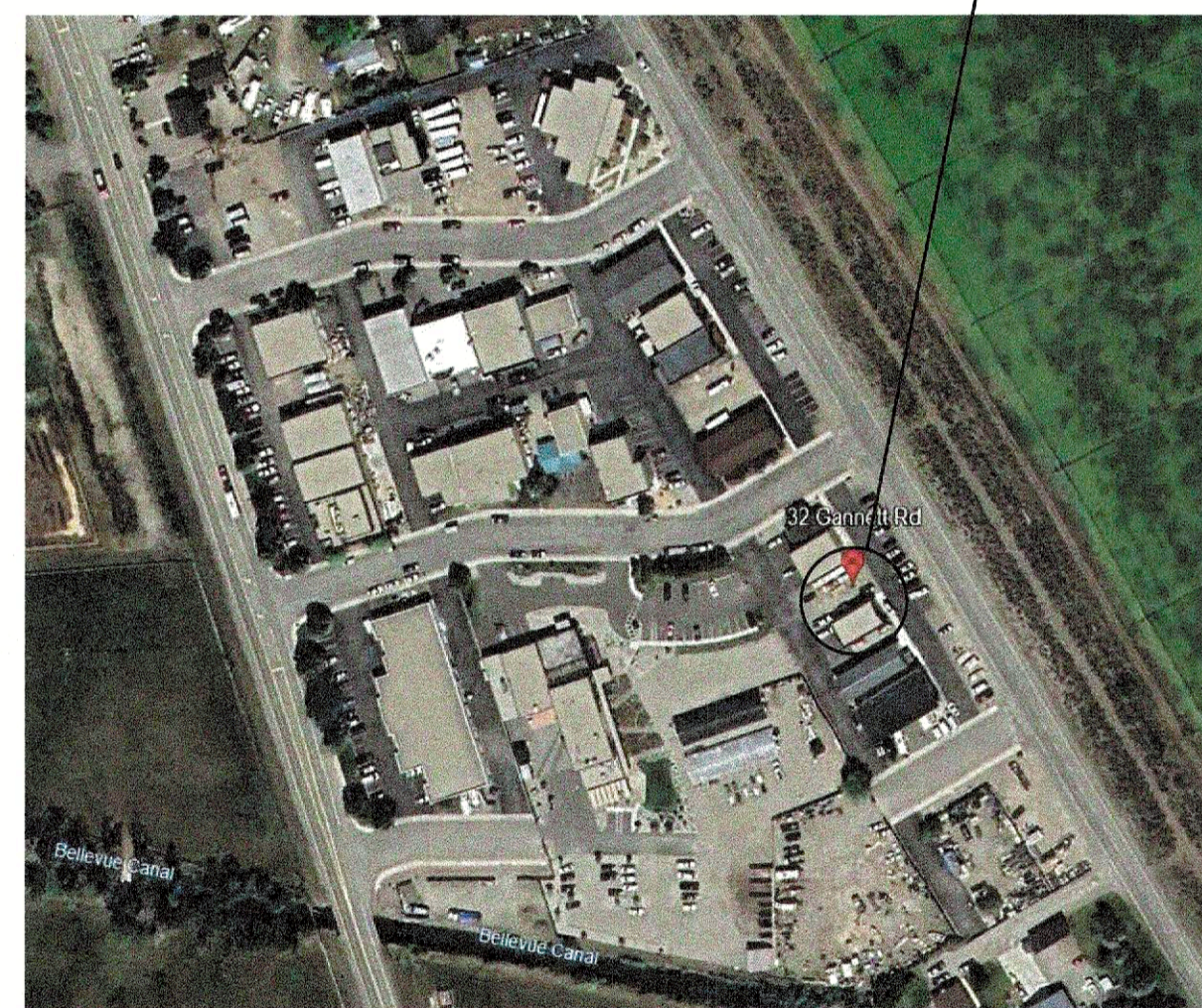
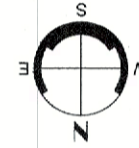
ISSUED	
10.10.2021	DESIGN REVIEW
04.14.2025	BUILDING PERMIT

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ZONING MAP

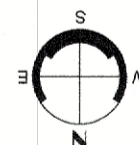
SCALE: 1" = 100'



VICINITY MAP

N.T.S.

AERIAL COURTESY OF GOOGLE MAPS



PROJECT INFORMATION

OWNER: GREGORY BALLANTYNE
P.O. BOX 2485 Hailey, ID 83333

PROJECT ADDRESS: 32 GANNETT ROAD, BELLEVUE, ID 83313

PARCEL NUMBER: RPB04090050030

ZONING DISTRICT: LIGHT INDUSTRIAL (LI)

OCCUPANCY: B BUSINESS
S-2 STORAGE

CONSTRUCTION TYPE: TYPE III-B

LOT AREA: 6,523 SQ. FT.

BUILDING FOOTPRINT: 2,200 SQ. FT.

BUILDING AREA: MAIN LEVEL: 567 SQ. FT.
S-2 1,633 SQ. FT.

SECOND LEVEL: 505 SQ. FT.

TOTAL AREA: 2,705 SQ. FT.

BUILDING SETBACK/EASEMENTS: FRONT: 9'-0"
REAR: 28'-0"
SIDES: 0'-6"

DESIGN CODE: -2018 INTERNATIONAL BUILDING CODE (2018 IBC)*
-2018 INTERNATIONAL FIRE CODE (2018 IFC)*
-2018 INTERNATIONAL ENERGY CONSERVATION CODE (2018 IECC)*
-2018 INTERNATIONAL MECHANICAL CODE (2018 IMC)*
-2018 INTERNATIONAL PLUMBING CODE (2018 IPC)*
-2017 NATIONAL ELECTRICAL CODE (2017 NEC)*
*WITH STATE AND LOCAL AMENDMENTS

CLIMATE ZONE: 6B (BLAINE COUNTY)

ALARM & DETECTION: DESIGN-BUILD ALARM & DETECTION SYSTEM SHALL BE INSTALLED & MONITORED IN ACCORDANCE WITH 2018 IBC CHAPTER 9, 2018 IFC CHAPTER 9 & APPLICABLE CITY OF BELLEVUE CODES, STATUTES AND RULES.

PARKING: 5 SPACES AT 9'-0" X 19'-0"

STRUCTURAL DESIGN CRITERIA: REFER TO SHEET S1.0

SPECIAL INSPECTION: REFER TO S1.1

ABBREVIATIONS

& AND	CM CONSTRUCTION MANAGER	EW EACH WAY	HGR HANGER	MIN MINIMUM	RCF REFLECTED CEILING PLAN	T/D TELEPHONE/DATA
@ AT	CMU CONCRETE MASONRY UNIT	EXST EXISTING	HM HOLLOW METAL	MO MASONRY OPENING	RD ROOF DRAIN	TL TELEPHONE
AB ANCHOR BOLT	COL COLUMN	EXP. STRUC EXPOSED STRUCTURE	HD HORIZONTAL	MURWB MOISTURE RESISTANT GYPSUM WALL BOARD	REF REFRIGERATOR	TLT TEMPERED GLASS
ABV ABOVE	CONC CONCRETE	EXT EXTERIOR	HP HIGH POINT	MTL METAL	REIN REINFORCEMENT	TEMP TEMPERED GLASS
ACP ALUMINUM CHECKER PLATE	CONC JT CONSTRUCTION JOINT	EXTN EXTENSION	HR HOUR	MW MASONRY WALL	REQ REQUIRED	TEX TEXTURE
ADDT ADDITIONAL	CONT CONTINUOUS	FA FROM ABOVE	HSA HEADED STUD ANCHOR	N/A NOT APPLICABLE	RETG RETAINING	THK THICK
ADJ ADJUSTABLE	CPT CARPET	FB FABRIC	HSS HOLLOW STEEL SECTION	NIC NOT IN CONTRACT	RM ROOM	THRD THREADED
AFI ABOVE FINISH FLOOR	CRS COLD ROOF RAFTER	FD FLOOR DRAIN	HT HEIGHT	NO NUMBER	RO ROUGH OPENING	TN TOE NAIL
ALUM ALUMINUM	CSR COUNTER SINK	FE FINISH FLOOR ELEVATION	HVAC HEATING, VENTILATING AND AIR CONDITIONING	NOM NOMINAL	SOPC SUSPENDED DRYWALL FURRED CEILING	TO TOP OF
ANDD ANODIZED	CS CERAMIC TILE	FG FIBER GLASS	ID INSIDE DIAMETER	NOT INCL NOT INCLUDED	SPD SOAP DISPENSER	TOC TOP OF CONCRETE
ARCH ARCHITECT	CTHD COURTHOUSE	FIN FINISH	INS INSIDE FACE OF	NS NOT TO SCALE	SW SHEAR WALL	TOP TOP OF FOOTING
AVG AVERAGE	DBL DOUBLE	FIK FIXTURE	IN IN LIEU OF	NWC NORMAL WEIGHT CONCRETE	SCHD SCHEDULE	TOP TOP OF SLAB
B.B. BACKER BOARD	DCA DRYWALL CEILING SUSPENSION SYSTEM	FL FLOOR	INCH INCH	OC ON CENTER	SECT SECTION	TOW TOP OF WALL
BFE BASE FLOOR ELEVATION	DEM DEMOLISH OR DEMOLITION	FO FACE OF	INSUL INSULATION	OD OUTSIDE DIAMETER	SFT SHEET	TPO TOILET PAPER DISPENSER
BLDG BUILDING	DEPR DEPRESSION	FP FACE OF CONCRETE	INT INFORMATION	OFS OWNER FURNISHED	SHTG SHEETING	TS TUBE STEEL
BLKG BLOCKING	DET DETAIL	FS FACE OF STUD	INTN INVERTED	ODF OVERFLOW ROOF DRAIN	SHM SIMILAR	TYP TYPICAL
BLW BELOW	DIA DIAMETER	FRFR FRAMING	IRI IMPACT RESISTANT GYPSUM WALL BOARD	OPG OPENING	SOG SLAB ON GRADE	UNO UNLESS NOTED OTHERWISE
BM BEAM	DM DIMENSION	FS FAR SIDE	JOI JOIST	OPR ORIENTED STRAND BOARD	SPEC SPECIFICATION	UT ULTRA SONIC TESTING
BO BOTTOM OF	DMS DIMENSIONS	FT FOOT OR FEET	JT JOINT	OPF OPPOSITE	SPK SPRINKLER	VIF VERIFY IN FIELD
BOF BOTTOM OF FOOTING	DIR DIRECTION	PTG FOOTING	KS KING STUD	OPR ORIENTED STRAND BOARD	SQ SQUARE	VIN VINYL
BOT BOTTOM	DISP DISPENSER	FUR FURRING	L LAUNDRY	PAF POWER ACTUATED FASTENER	STL STAINLESS STEEL	VNR VENEER
BP BASE PLATE	DN DOWN	FXD FIBERGLASS	LAG LAG	PCC PRE-CAST CONCRETE	STN STONE	VPR VAPOR
BRD BOARD	DR DOWN SPOUT	GAL GALVANIZED	LO LOW	PERF PERFORATED	STN CONC STAINED CONCRETE	VR VAPOR RETARDER
BRG BEARING	DRWG DRAWINGS	GBB GYPSUM BACKING BOARD	LVL LAMINATED STRAND LUMBER	PL PLATE	STRF STIFFENER	VSF VINYL SHEET FLOORING
BRKT BRACKET	DWS DOWNELS	GALV GALVANIZED	LVL LAMINATED VENEER LUMBER	PLA PLASTER	STC SOUND TRANSMISSION COEFFICIENT	VT VINYL TILE
BSMT BASEMENT	DWS EACH	GLB GYPSUM LAMINATED BEAM	LWC LIGHT WEIGHT CONCRETE	PLMB PLUMBING	STD STANDARD	WVC WATER WALL COVERING
BTWN BETWEEN	EACH	GLC GYPSUM LAMINATED COLUMN	MANUF MANUFACTURER	PLYD PLYWOOD	STL STEEL	WV WITH
BYND BEYOND	EJ EACH FACE	GRD GRADE	MAS MASONRY	PNT PAINT	STO STORAGE	WH WATER CLOSET
CA CEILING ACCESS	EXP EXPANSION JOINT	GRS GYPSUM WALL BOARD	MATL MATERIAL	PSF POUNDS PER SQUARE FOOT	STRUC STRUCTURAL	WH WATER HEATER
CB CEMENT BOARD (TILE BACKER)	ELEV ELEVATION OR ELEVATOR	GWB GYPSUM WALL BOARD-FIBERGLASS	MAX MAXIMUM	PSI POUNDS PER SQUARE INCH	SUBFL SUBFLOOR	WP WATER PROOF
CHNL CHANNEL	ENM ENAMEL	GWB-WR GYPSUM WALL BOARD-WATER RESISTIVE	MASONRY MASONRY	PST PRESSURE TREATED	SUP SUPPORT	WV WATER
CI CAST IN PLACE	EPDM ETHYLENE PROPYLENE DIENE M-CLASS	HWG HARD WOOD	MASONRY BEAM MASONRY BEAM	PTR PRESSURE TREATED DOUGLASS FIR	SYMT SYMMETRICAL	WV WATER
CJ CONTROL JOINT	EQ EQUAL	HC HOLLOW CORE	MASONRY COLUMN MASONRY COLUMN	PTF POLYVINYL CHLORIDE	SYMTH SYMMETRIC	WV WATER
CL COMPLETE JOINT PENETRATION	EQ EQUAL	HD HOLD DOWN	MDF MEDIUM DENSITY FIBERBOARD	PVC POLYVINYL CHLORIDE	SYMTH SYMMETRIC	WV WATER
CLS CENTER LINE	EQ EQUIP	HR HOLLOW CORE	MCH MECH	RBL RADIUS	T&G TOP AND BOTTOM TORUS & GROOVE	
CLR CLEAR	EQ EQUIP	HR HOLLOW CORE	MEMB MEMBER	RR RUBBER		

PROJECT TEAM

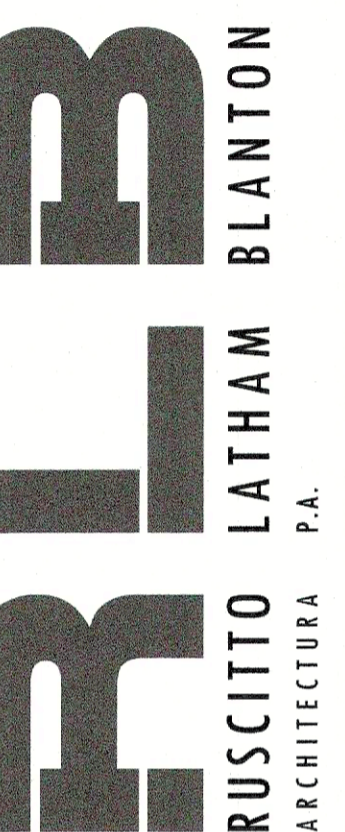
OWNER
GREGORY BALLANTYNE
P.O. BOX 2485 Hailey, ID 83333

STRUCTURAL ENGINEER
RUSCITTO LATHAM BLANTON ARCHITECTURA P.A.
P.O. Box 5619 Ketchum, ID 83340
208.726.5608
SCOTT HEINER, P.E.
scott@rlb-sv.com

CIVIL ENGINEER
GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 Belle Drive Ketchum, ID 83340
208.726.9512
benchmark-associates.com

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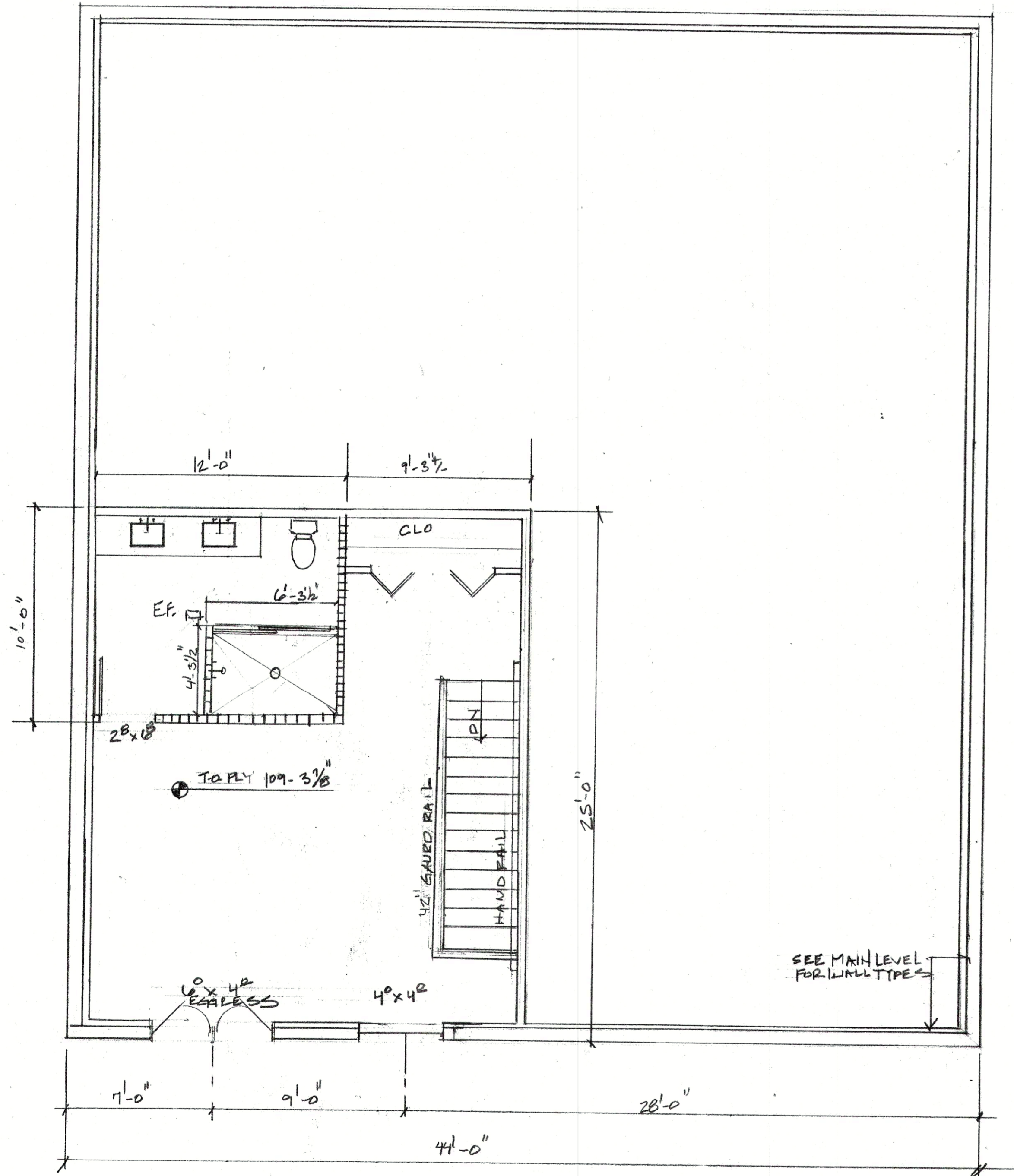
SOUTHERN BELLE BUSINESS PARK LOT 3
32 GANNETT ROAD | BELLEVUE, IDAHO

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PROJECT
INFORMATION

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A0.0

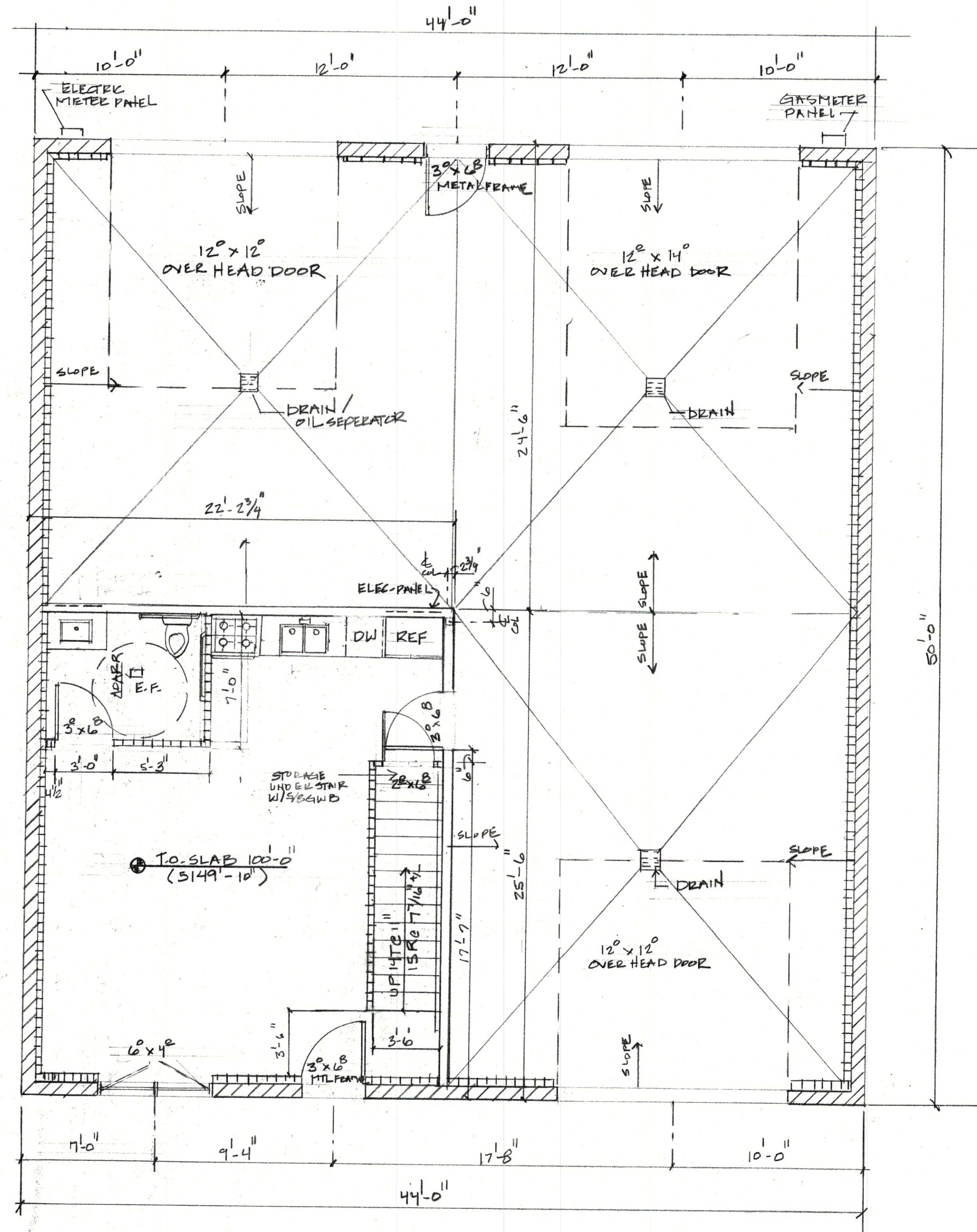
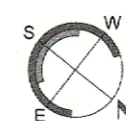


WALL LEGEND

- 8" CMU
- 2x6
- 2x4

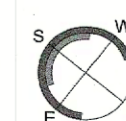
UPPER FLOOR PLAN

SCALE: 1/2" = 1'-0"

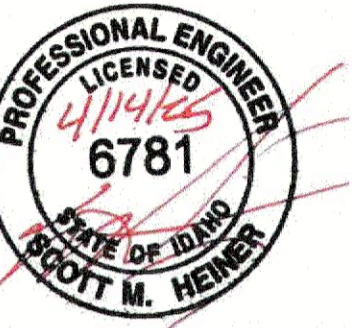


MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



ISSUED	DATE	DESCRIPTION
10.10.2021	04.14.2025	DESIGN REVIEW
		BUILDING PERMIT



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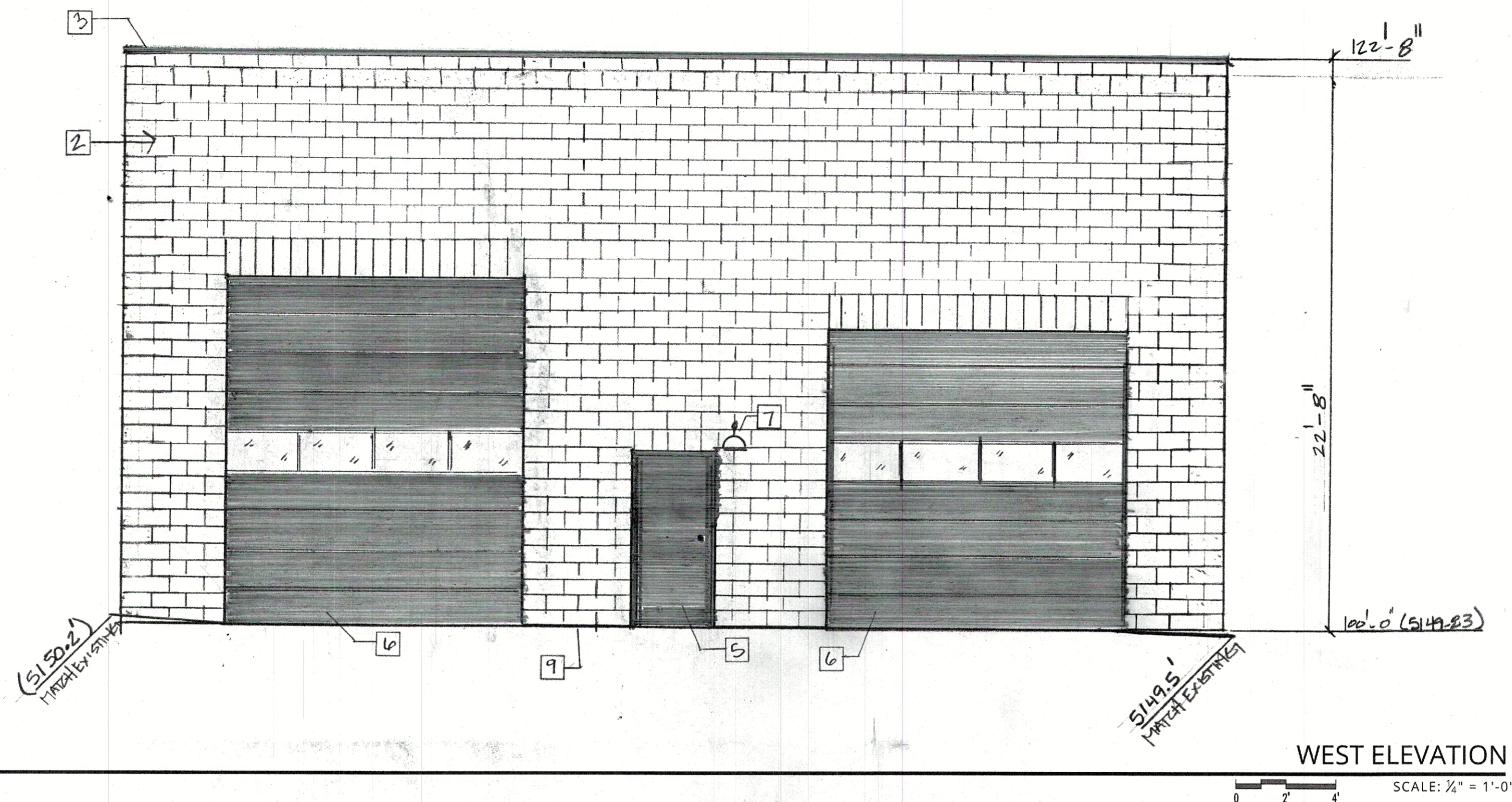
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FLOOR PLANS

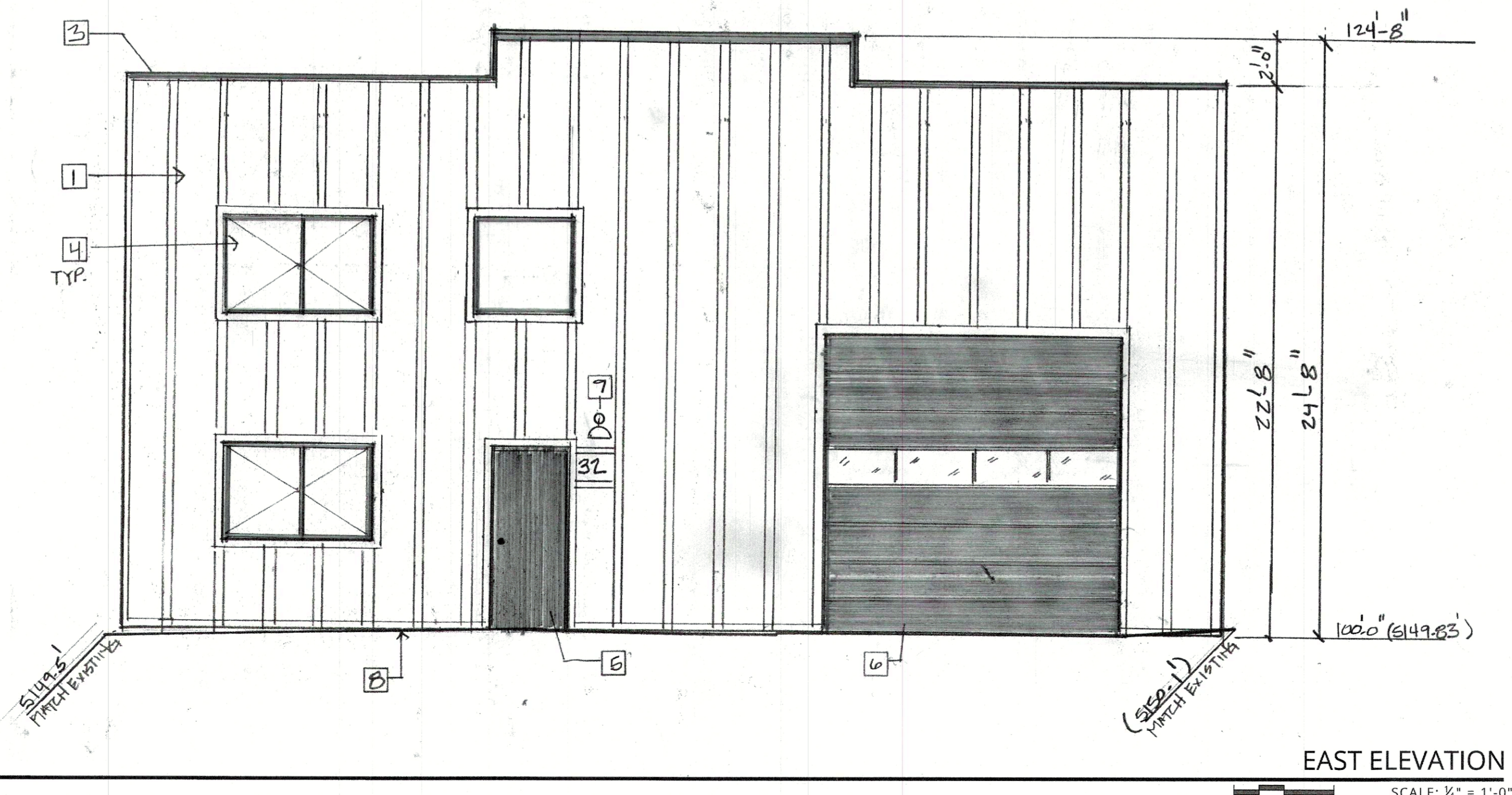
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A 2.0



WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

- 1 PAINED WOOD BOARD BATT OVER CMU
- 2 PAINED SMOOTH FACE CMU
- 3 KYNAR FLASHING
- 4 VINYL WINDOWS
- 5 METAL INSULATED DOOR
- 6 METAL INSULATED SECTIONAL DOOR W/RE-LIGHT WINDOWS
- 7 EXTERIOR LIGHT TO COMPLY WITH BLAINE COUNTY OUTDOOR LIGHTING ORDINANCE
- 8 CONCRETE SIDEWALK/GUTTER
- 9 ASPHALT PAVING

- WOODSIDING & CMU BLOCK PAINTED WHITE
- GARAGE DOORS, MAIN DOORS, WINDOW FRAMES FLASHING BLACK

ISSUED	DESCRIPTION
10.10.2021	DESIGN REVIEW
04.14.2025	BUILDING PERMIT



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ELEVATIONS

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A 3.0

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Barn Light Outdoor Wall Sconce with Extender
By Visual Comfort Studio

LUMENS
Call Us (877) 445-4486

Barn Light Outdoor Wall Sconce with Extender
By Visual Comfort Studio

Product Options

Finish: Textured Black,
Size: Small,
Bulb base: ST18 LED

Details

Includes 6 in extender to customize depth

Dimensions

Small Option Backplate: Diameter 5"
Small Option Fixture: Width 8", Height 10", Depth 12.38", Weight 6.9Lbs

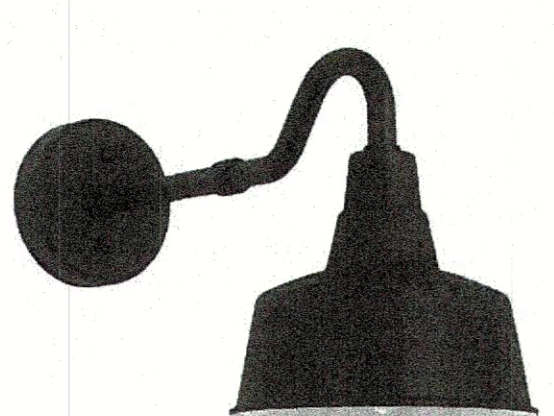
Lighting
Small

Lamp Type	LED
Total Lumens	650.0
# of Bulbs	1 (Not Included)
Bulb Type	7W ST18 E26
Volts	120
Color Temp	2100 (Warm)
Average Lifespan (Hours)	15,000
CRI	80
Equivalent Halogen, CFL or LED Bulb Can Be Used	Yes

Additional Details

Product URL:
<https://www.lumens.com/barn-light-outdoor-wall-sconce-with-extender-by-visual-comfort-studio-STU2509052.html>
Rating: ETL Listed Wet
ITEM#: STU2509052

Created April 14th, 2025



Notes:

Prepared by: _____

Prepared for: _____

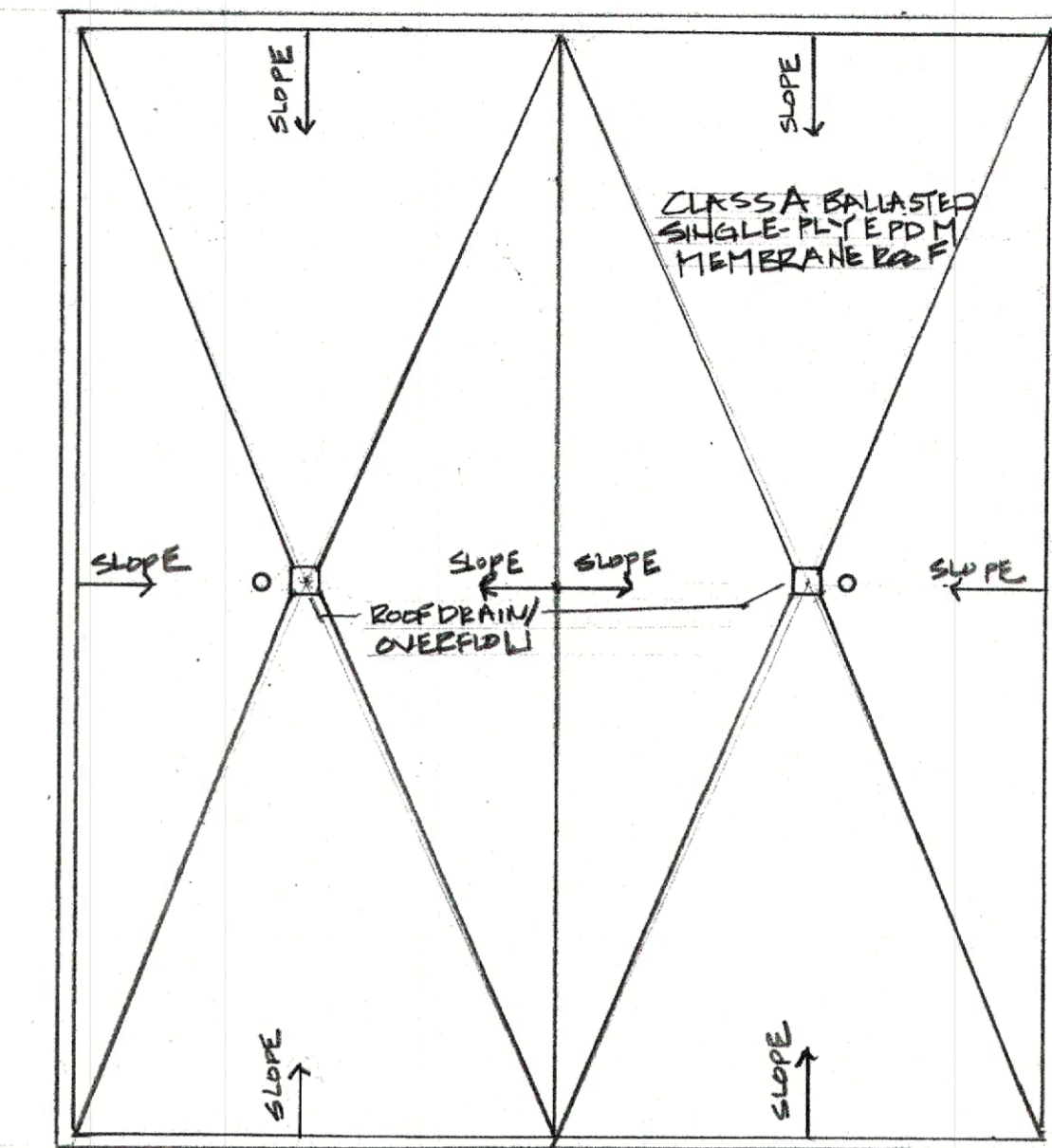
Project: _____

Room: _____

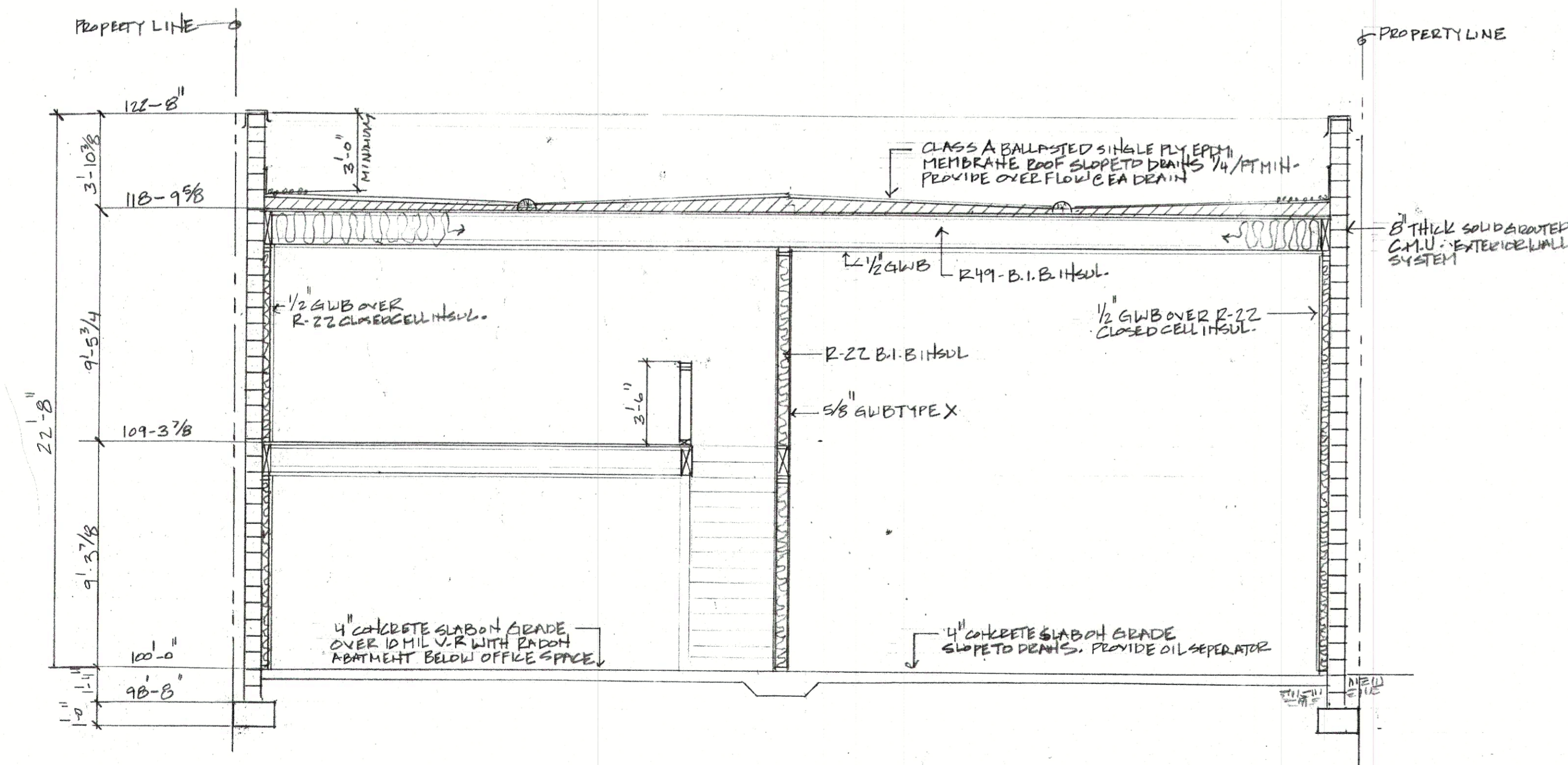
Placement: _____

Approval: _____

NOTE:
OUTDOOR LIGHTING TO MEET BLAINE COUNTY OUTDOOR LIGHTING ORDINANCE.

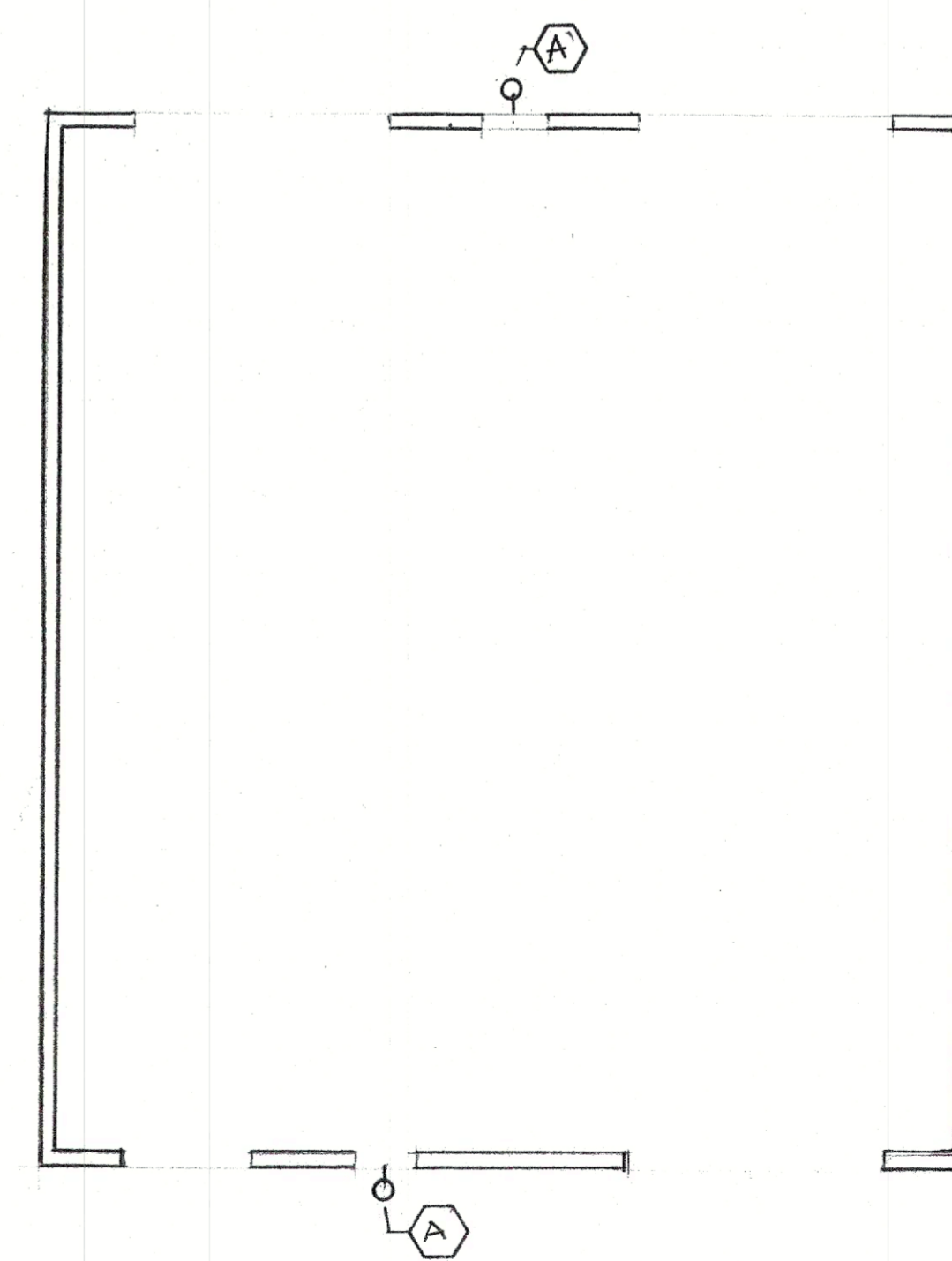
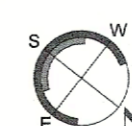


ROOF PLAN
SCALE: 1/8" = 1'-0"



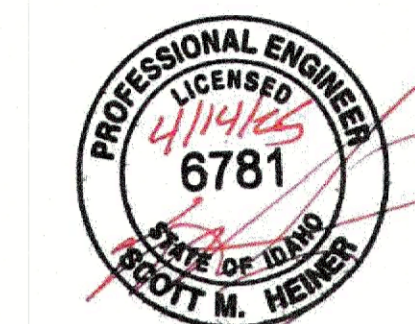
CROSS SECTION

SCALE: 1/4" = 1'-0"



EXTERIOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"



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ROOF PLAN &
SECTION

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ISSUED	
10.10.2021	DESIGN REVIEW
04.14.2025	BUILDING PERMIT



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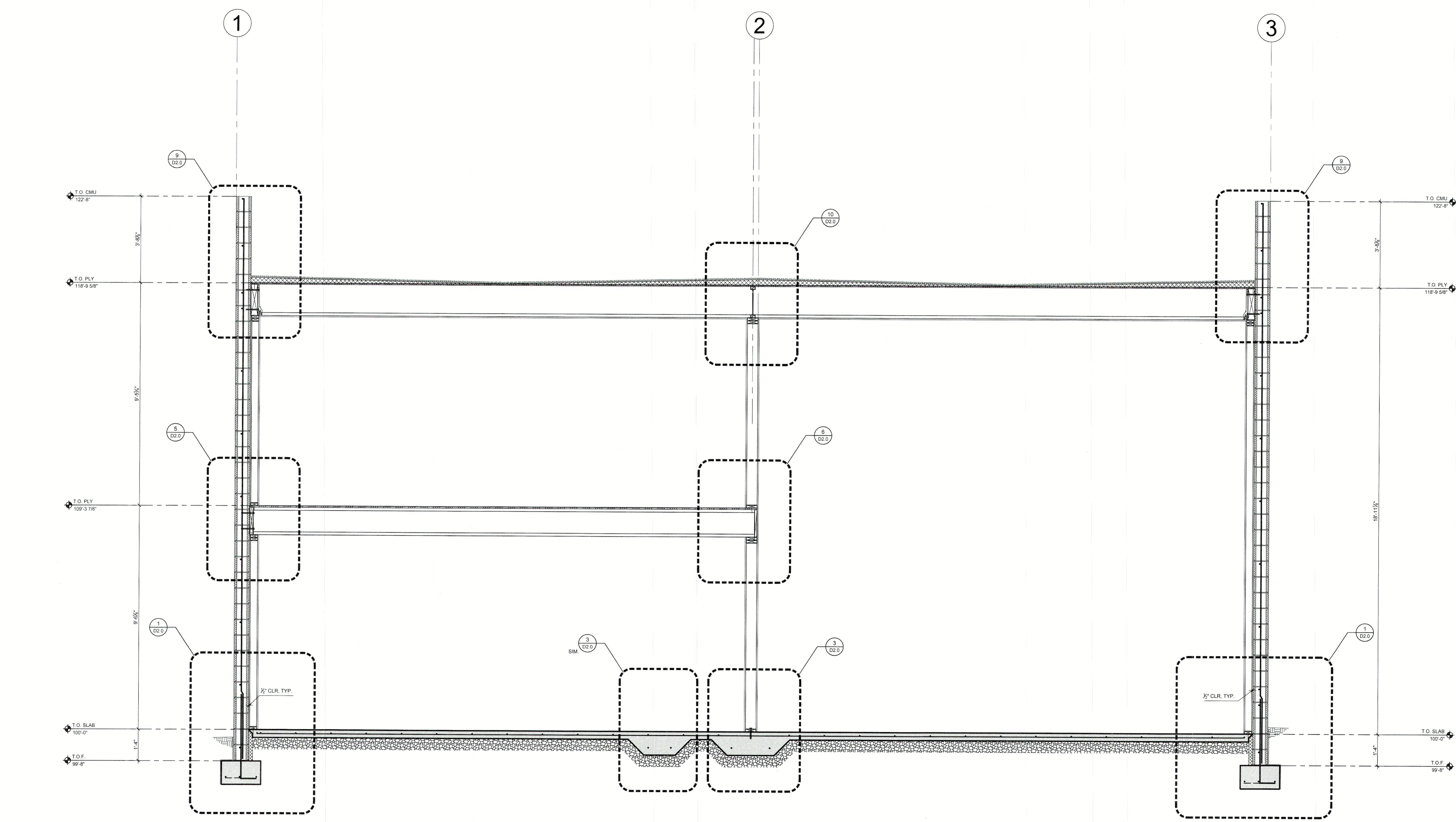
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 DRAWING

STRUCTURAL SECTION

DWG. #

D 3.0



A

STRUCTURAL SECTION
 SCALE: 1/2" = 1'-0"

April 30, 2025

Greg Ballantyne
PO Box 2485
Hailey, ID 83333

Re: Building, Lot 3 Block 5, Southern Belle Business Park

Dear Greg:

This letter will constitute written approval for the design of the Building as depicted on those plans provided Southern Belle Business Park Association dated April 14, 2025, with the following additions: A landscaping area between the front of the building and sidewalk similar to adjacent buildings. The color was not listed on the drawings; however was presented and approved as White.

Please feel free to contact us with any questions.

Sincerely,

ENGEL & ASSOCIATES, LLC, Property Manager
Southern Belle Business Park Owners Association

A handwritten signature in black ink, appearing to read "Derrick Georgiades". The signature is fluid and cursive, with a large initial "D" and a long horizontal stroke at the end.

Derrick Georgiades