



AGENDA

JOIN ZOOM MEETING

<https://us02web.zoom.us/j/84139399633?pwd=eDCQNSeuEYsa42qesc0b5FawDaXBGa.1>

Meeting ID: # 841 3939 9633

Passcode: # 900164

One tap mobile

+1-253-215-8782 US (Tacoma)

+1-346-248-7799 US (Houston)

CALL TO ORDER

ROLL CALL

1. NOTICE OF AGENDA COMPLIANCE - ACTION ITEM

*Finding that the regular meeting notice and agenda were posted in accordance with Idaho Code §74-204 within forty-eight (48) hours prior to the meeting at: the City of Bellevue City Hall, Post Office, on the City's website on **July 30, 2025.***

(Suggested Motion: I move the notice for the August 4, 2025, regular Meeting was completed in accordance with Idaho Code, Section §74-204.)

2. CALL FOR CONFLICT: (As outlined in Idaho Code §74-404)

3. PUBLIC COMMENT: For items of concern **NOT** on the Agenda.

4. NEW BUSINESS – ACTION ITEM

a. DR-25-07 – Greg Ballentyne – 32 Gannett Road

An application for Design Review Approval a structure within the Light Industrial zone located at 32 Gannett Road.

5. NEXT MEETING

a. Regular Meeting – August 18, 2025

6. ADJOURNMENT - ACTION ITEM

I, designated Planning Commission Secretary for the City of Bellevue, Idaho, hereby certify that the regular meeting notice and agenda were posted in accordance with **Idaho Code §74-204** within forty-eight (48) hours prior to the meeting at: the City of Bellevue City Hall, Post Office, and on the City of Bellevue Website: <https://www.bellevueidaho.us/> on **July 30, 2025.**

In compliance with the American with Disabilities Act, individuals needing special accommodations during this meeting should notify the City of Bellevue, 115 East Pine Street, Bellevue, Idaho 83313, or **phone number 208-788-2128 ext. 8, at least twenty-four (24) hours prior to the meeting.**



CIUDAD DE BELLEVUE, IDAHO
Comisión de Planificación y Zonificación
Lunes 4 de agosto de 2025, 17:30
115 Pine Street, Bellevue, Idaho 83313

ORDEN DEL DÍA

ÚNETE A LA REUNIÓN DE ZOOM

<https://us02web.zoom.us/j/84139399633?pwd=eDCQNSeuEYsa42qesc0b5FawDaXBGa.1>

ID de la reunión: # 841 3939 9633

Código de acceso: # 900164

Móvil con un solo toque

+1-253-215-8782 US (Tacoma)

+1-346-248-7799 US (Houston)

LLAMAR AL ORDEN

LISTA

1. AVISO DE CUMPLIMIENTO DE LA AGENDA - PUNTO DE ACCIÓN

Constatando que el aviso y la agenda de la reunión regular se publicaron de conformidad con el Código de Idaho §74-204 dentro de las cuarenta y ocho (48) horas previas a la reunión en: el Ayuntamiento de la ciudad de Bellevue, la oficina de correos, en el sitio web de la ciudad el 30 de julio de 2025. (Moción sugerida: Propongo que la notificación para la reunión ordinaria del 4 de agosto de 2025 se complete de conformidad con el Código de Idaho, Sección §74-204).

2. LLAMADA AL CONFLICTO: (Como se describe en el Código de Idaho §74-404)

3. COMENTARIO PÚBLICO: Para temas de preocupación que NO están en la Agenda.

4. NUEVO NEGOCIO – PUNTO DE ACCIÓN

a. DR-25-07 – Greg Ballentyne – 32 Gannett Road

Una solicitud de aprobación de revisión de diseño para una estructura dentro de la zona industrial ligera ubicada en 32 Gannett Road.

5. PRÓXIMA REUNIÓN

a. Reunión ordinaria – 18 de agosto de 2025

6. APLAZAMIENTO - PUNTO DE ACCIÓN

Yo, el Secretario designado de la Comisión de Planificación de la Ciudad de Bellevue, Idaho, por la presente certifico que el aviso y la agenda de la reunión regular se publicaron de conformidad con **el Código de Idaho §74-204** dentro de las cuarenta y ocho (48) horas anteriores a la reunión en : el Ayuntamiento de la Ciudad de Bellevue, la Oficina de Correos y en el sitio web de la Ciudad de Bellevue : <https://www.bellevueidaho.us/> el **30 de julio de 2025** .

De conformidad con la Ley de Estadounidenses con Discapacidades, las personas que necesiten adaptaciones especiales durante esta reunión deben notificar a la Ciudad de Bellevue, 115 East Pine Street, Bellevue, Idaho 83313, o **al número de teléfono 208-788-2128 ext. 8, al menos veinticuatro (24) horas antes de la reunión** .



DR-25-07

Staff Report

32 Gannett Road

Bellevue Planning & Zoning Commission

August 4, 2025

Ballantyne
Building

Executive Summary

Description

An application for Design Review Approval a structure within the Light Industrial zone located at 32 Gannett Road.

Discussion

- The applicant is requesting to construct a general purpose building within the Light Industrial zone. Bellevue City Code Section 10-17-3 requires Design Review Approval for structures within the LI - Light Industrial zone.
- The proposed building is generally consistent with the Design Review Standards of Bellevue City Code Section 10-17-5.

Recommendations

Actions

Based upon the record provided to date, Staff recommends approval of the subject application with the conditions of approval identified below. Suggested motion:

“I move that we approve DR-25-07 with the conditions identified within the Staff Report, and to direct Staff to prepare Findings of Fact, Conclusions of Law, and Decision documents reflecting this recommendation based on the record provided.”

Notice of Expiration

Pursuant to Bellevue City Code Section 10-17-7(A), approval of the Design Review application shall expire if the application has not applied for a building permit within one (1) year of the final action by the Commission.

Project Location



Project Analysis

Description

An application for Design Review Approval a structure within the Light Industrial zone located at 32 Gannett Road.

Legal Description

Lot 3 ,Block 5, Southern Belle Business Park, located within Section 1, Township 1 North, Range 18 East, B.M., City of Bellevue, Blaine County, Idaho.

Associated Documents

| Document Name | Receipt of Last Revision |
|-----------------------------|--------------------------|
| Application | March 6, 2025 |
| Colored Building Elevations | March 6, 2025 |
| Paint Color | March 11, 2025 |

Public Noticing

Pursuant to Bellevue City Code Section 10-17-4(C), public notice is not required for Design Review applications.

Required Findings Code Sections

Bellevue City Code Section 10-17-5: Design Review Standards and Criteria:

The following list of design review criteria shall be met by each applicant seeking design review approval. The Planning and Zoning Commission shall use said criteria to determine whether a project is to be approved or denied. A building which is allowed by right in this title may be reduced in bulk, height or other physical dimension by requirement of the commission only if found necessary to protect the public health, safety and/or welfare. If a development project is to be built in phases, each phase shall be subject to the design standards and criteria described in this section, and each phase independently shall meet said criteria and standards.

A. Site Planning:

1. Buildings shall be situated in a manner that preserves existing land forms, trees and other significant vegetation and shall not interrupt waterways or change other natural drainage patterns in a manner which adversely affects adjacent property. Removal of existing trees of greater than six inch (6") caliper is subject to review.
2. Buildings shall be sited so that their form does not break prominent natural ridge lines.
3. Buildings and parking areas shall be clustered to provide for more usable open space. All accesses from alleys shall require improvements installed by the applicant/owner when applicable including, but not limited to, an asphalt surface or compacted gravel surface as determined by the City Public Works Department. The applicant/owner shall be responsible for relocation of applicable City services/utilities, repair of any damaged City services, snow plowing and snow removal.

4. The alignment of roads and driveways shall follow the contours of the site, and cuts and fills shall be minimized.
5. Retaining walls shall be discouraged, and such walls over three feet (3') high shall be stepped to form a number of benches to be landscaped.
6. Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.
7. A snow storage plan, as a component of the site plan, is required. The plan shall comply with the following requirements:
 - a. Use of sidewalks and required parking areas for snow storage is prohibited.
 - b. Snow storage within one hundred feet (100') of stream banks is prohibited.
 - c. Use of landscaped areas for snow storage may be allowed under the approved snow storage plan.
 - d. Snow storage areas shall be incorporated in site design as well as designs that anticipate snow shedding areas.
 - e. Snow storage areas shall not adversely affect neighboring properties.
 - f. Building design shall prevent water from dripping or snow from sliding on pedestrian areas, entrances of buildings, garages and adjacent properties.
 - g. Snow storage areas for parking lots containing twenty (20) spaces or more shall be located on site in an amount which is equal to at least one-third (1/3) of the hard surfaces proposed with the project. The one-third (1/3) amount may be reduced by the use of a snowmelt system, or for good cause demonstrated.
 - h. Where snow storage areas cannot be provided on site because of existing buildings or approved building design, an adequate snow hauling plan shall be submitted for and subject to approval by the Planning and Zoning Commission.

The Planning and Zoning Commission may impose such restrictions on snow removal operations as are necessary to reduce the effects of noise or traffic on surrounding areas.
8. Visual impact of on site parking, service, trash and loading areas shall be minimized whenever possible by locating these areas to the rear of the building and providing screening with landscaping or fences from adjacent properties and public ways.
9. Adequate enclosed on site storage for trash shall be provided for each unit of accessory dwelling units, multi-family and townhouses.
10. All utilities shall be installed underground in accordance with the City standards and in a manner and location approved by the City Engineer.
11. Building and parking areas shall be designed to provide proper ingress and egress; safe, adequate and efficient pedestrian and vehicular traffic circulation; and the efficient and safe arrangement of on site parking, building location, and circulation.
12. Multi-family and townhouses shall provide a minimum of two (2) on site parking spaces for each unit. Accessory dwelling unit parking requirements shall be one off street parking space for a one bedroom ADU and two (2) parking spaces for ADUs with two (2) to three (3) bedrooms.
13. Adequate unobstructed access for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project shall be provided.

B. Architecture:

1. Generally:
 - a. Building and shopfront design and construction shall reflect historical architecture styles and shall incorporate building materials, architectural design and features

representative of that historical period in Bellevue between 1880 and 1910. That architectural style includes frame and brick construction, frame and shiplap siding construction, horizontal log construction, and similar westward expansion motifs. Also, building design and construction shall preserve and incorporate any such existing structures and features, signage, exterior fixtures and other items from that period.

- b. A building exceeding eight thousand five hundred (8,500) square feet of building coverage shall incorporate a change in facade design, materials, color and/or height, or a combination thereof, that such building appears to be more than one building. These changes shall occur at a minimum of every fifty feet (50') of wall facade visible by the general public and at the ceiling line of the first floor on two-story buildings. In addition, the facade shall change in depth a minimum of two feet (2') at each such change in facade.
 - c. All buildings in the B Business District shall have a minimum setback from wall/foundation to property line adjacent to Main Street/Highway 75 of three feet (3'), providing an area for covered seating, planters, special event advertising units and displays of merchandise, in addition to the specified requirements of subsection B1b of this section.
 - d. All exterior mechanical equipment shall be screened on all sides with materials and colors matching the approved structure.
 - e. Mechanical equipment and solar panels shall be hidden or de-emphasized.
 - f. Metal siding shall not be permitted on buildings on parcels of real property abutting Main Street (State Highway 75) unless deemed appropriate by the Planning and Zoning Commission. All such buildings shall be constructed of or faced with materials that are similar in texture, finish, and appearance to natural materials. The use of natural materials such as wood, brick and stone shall be encouraged, and exterior wall colors shall be of natural earth tones.
 - g. Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.
 - h. Accessory dwelling unit sizes shall comply with section 10-2-1 of this title.
2. Multi-Family And Townhouses: Multi-family and townhouses shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and location of the site. Multi-family and townhouse design, style, scale, and aesthetics shall blend with its neighborhood. There shall be no repetitive side by side development of buildings. The City is looking for individual buildings by varying types and styles to make for a pleasant streetscape experience.
3. Accessory Dwelling Units (ADUs): ADUs shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and emulate the primary structure of the site. Design, style, scale, and esthetics shall blend with its neighborhood. Building materials and exterior architectural design shall be reflective of existing structures on the subject site and take into consideration the architectural style and materials of the general vicinity.
- C. Landscaping; Parking; Lighting:
- 1. Exterior light fixtures and signs shall be nonglaring in design and installation so as not to adversely affect adjacent properties and public ways.
 - 2. The design of fences, walls and retaining walls shall harmonize with the site and buildings in scale as well as in materials.

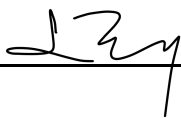
3. Preservation of significant natural features such as water, view, topography, and vegetation shall be incorporated in the landscape plan.
 4. Site conditions, drought tolerance and local hardiness shall be considered to select appropriate plant species, including grasses for lawn areas.
 5. Landscaping shall provide a substantial buffer between incompatible land uses and shall be used to screen from view and to mitigate visual impact of parking areas, loading areas, and garbage containers from adjacent properties and public ways.
 6. Installation of adequate drip or other low consumption irrigation systems shall be required. Landscaping shall be properly irrigated and maintained, and landscaping, or any portion thereof, shall be replaced when it dies or is otherwise destroyed.
 7. Adequate drainage shall be provided on site.
 8. A minimum of ten percent (10%) of the parking area of parking lots with twenty (20) spaces or more shall be landscaped with islands, dividers, or a combination of the two. Parking lots with twenty (20) spaces or more will have a minimum of fifty percent (50%) of the required landscaped area installed adjacent to Main Street/Highway 75 unless otherwise approved by the commission due to extensive curb cuts and vision safety concerns.
 9. All public rights-of-way adjacent to subject property including alleys shall be improved with, but not limited to, asphalt/concrete/compacted gravel, and applicable curbing, gutter, drainage, ADA standards, lighting, sidewalks and striping as recommended by the Public Works Director.
- D. Curbs, Gutters, Sidewalks And Street Tree Requirements: Within the B Business, LB/R Limited Business/Residential, LI/B Light Industrial/Mixed Business and LI Light Industrial Zoning Districts, curbs, gutters, sidewalks and street trees are required and shall be installed along the street frontage of each lot or parcel of real property upon which a new building or a "major addition" (defined as requiring a building permit and having a cost of construction exceeding \$50,000.00) is constructed. Such improvements shall be constructed in accordance with the applicable construction standards and ordinances of the City.



City of Bellevue

115 E Pine Street
P. O. Box 825 Bellevue, ID 83313
208-788-2128 Fax 208-788-2092

Design Review Application

| Applicant Information | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------|--------------------------------------|
| Business / Project Name: Car Doctor | | | |
| Owner / Applicant Name: Greg Ballantyne | | | |
| Phone #: 208-481-1530 | | Fax #: | email: carquack@gmail.com |
| Service Location: 32 Gannett Road Bellevue, ID 83313 | | | |
| Mailing Address: PO Box 2485 Hailey, ID 83333 | | | |
| Property Physical Address: 32 Gannett Road Bellevue, ID 83313 | | | |
| Property Legal Description: Southern Belle Business Park Lot 3 Blk 6 | | | |
| Business Type: <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Other LLC | | | |
| Current Zoning: <input type="checkbox"/> Business <input type="checkbox"/> Limited Business/Res <input checked="" type="checkbox"/> Light Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Transitional | | | |
| Project Description | | | |
| Business / Project Description: Personal Storage | | | |
| Structure Design: <input checked="" type="checkbox"/> Stick Built <input type="checkbox"/> Modular <input type="checkbox"/> Manufactured/ Mobile (HUD) <input type="checkbox"/> Container | | | |
| Existing Sq Ft: 0 | | New Sq Ft: 2,705 | Total Sq. Ft: 2,705 Lot Sq Ft: 6,530 |
| Living Quarters Included? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes, please describe: _____ | | | |
| Parking Requirements: (See City Code- Zoning Regulations Title 10) 5 spaces at 9'-0" x 19'-0" _____ | | | |
| Acknowledgement | | | |
| <p>*This application is due no less than 15 days prior to the next regularly scheduled meeting date of the Bellevue Planning & Zoning Commission with all of the required material itemized in Chapter 19, Design Review, and Bellevue City Ordinance 86-03.</p> <p>*Design Review Application Fees: Non-Residential = Base fee \$400.00 + \$25.00 per each 1,000 square feet of gross floor area Residential = \$Base fee \$200.00 1-6 unites. 7+ unites an additional \$25.00 per unit will be charged.</p> <p>*ALL LEGAL, ENGINEERING AND OTHER CONSULTANT FEES SHALL BE REIMBURSED AT 100%</p> <p>Applicant's Signature: _____  Date: 06-03-2025</p> | | | |
| Official Use Only | | | |
| Date Received: _____ Check #: _____ CD Director Signature: _____ | | | |



DESIGN REVIEW APPLICATION PROCEDURES

CITY OF BELLEVUE- COMMUNITY DEVELOPMENT DEPARTMENT
115 East Pine Street/ P.O. Box 825/ Bellevue, ID 83313
Telephone: (208) 788-2128 ext. 8

The following materials and information together with the application form and fees shall constitute a complete application for design review and shall be filed by the applicant prior to consideration of the application by the Commission.

- 1) Site map of the property upon which the proposed construction is to occur shall be submitted in sufficient detail to show the following:**
 - a) Exterior boundary lines of the property together with dimensions;
 - b) Location of proposed and existing structures with dimensions thereof showing the setback of each structure from the nearest property line;
 - c) Location of on-site parking spaces, ADA accessible spaces, loading zones and access thereto, including the dimensions of the spaces and the width and length of access;
 - d) Location and dimensions of snow storage areas;
 - e) Location of dumpster and/or garbage can storage areas including the dimensions and proposed fencing or other screening;
 - f) Designation of the zoning district in which the project is located;
 - g) Location of vehicular and pedestrian circulation patterns, easements and proposed improvements with regard thereto;
 - h) Contour lines of five (5) foot intervals to show proposed slope and topography of the property;
 - i) Location of existing and proposed adjacent street rights-of-way, fire hydrants, sewer lines, water lines and other utilities, and plans for the separate connection to and extension of each utility to each unit or building;
 - j) Indication of direction of snow slide from roof and drip line of all buildings
 - k) Location of existing structures on adjacent properties;
 - l) Location of onsite trash and personal property storage.
 - m) (1) one large and (7) seven reduced vicinity maps depicting adjacent streets, flood plains, applicable zoning and comprehensive land use designations.
- 2) Preliminary Schematic Drawings of the proposed construction shall be submitted to show the following:**
 - a) Floor plan at not less than one-eighth (1/8) scale;
 - b) (7) seven reduced exterior elevations with facades and other exterior elements shown in color;
 - c) Type and color of exterior materials and roofing with samples thereof;
 - d) Location and type of exterior lighting;
 - e) A colored model shall be submitted for all new buildings not including additions or buildings less than 3,000 sq. ft.
- 3) Landscape Plan and legend shall be submitted in sufficient detail to show the following:**
 - a) (1) one large and (7) seven proposed landscape plans of the project including calculations depicting percentage of land area being landscaped, types and size of trees, ground cover and other vegetation;
 - b) Proposed excavation or land fill including resulting slope grades;
 - c) Location and height of walls or fences;
 - d) Drip or other low consumption irrigation system for landscaping;
 - e) Drainage plan including off-site improvements.
 - f) Street trees shall be a minimum of 3" caliper and planted at spacing not less than one tree for every 35' of public street right-of-way, excluding alleys. All trees shall comply with the Bellevue Street Tree guidelines and obtain an approved encroachment permit from ITD or City of Bellevue.

April 30, 2025

Greg Ballantyne
PO Box 2485
Hailey, ID 83333

Re: Building, Lot 3 Block 5, Southern Belle Business Park

Dear Greg:

This letter will constitute written approval for the design of the Building as depicted on those plans provided Southern Belle Business Park Association dated April 14, 2025, with the following additions: A landscaping area between the front of the building and sidewalk similar to adjacent buildings. The color was not listed on the drawings; however was presented and approved as White.

Please feel free to contact us with any questions.

Sincerely,

ENGEL & ASSOCIATES, LLC, Property Manager
Southern Belle Business Park Owners Association

A handwritten signature in black ink, appearing to read "Derrick Georgiades", with a stylized flourish at the end.

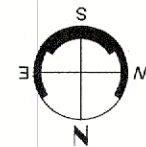
Derrick Georgiades

OWNERSHIP OF DOCUMENTS: This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of RUSCITTO LATHAM BLANTON ARCHITECTURA P.A., and is not to be used in whole or in part, for any other project without written authorization of RUSCITTO LATHAM BLANTON ARCHITECTURA P.A.

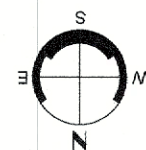
BELLEVEUE, IDAHO 83313

[illegible]

SCALE: 1" = 100'



N.T.S.



| | | | |
|-----------------------------|------------------------------------------------------|----------|----------------------|
| OWNER: | GREGORY BALLANTYNE P.O. BOX 2485 Hailey, ID 83333 | | |
| PROJECT ADDRESS: | 32 GANNETT ROAD, BELLEVUE, ID 83313 | | |
| PARCEL NUMBER: | RPB04090050030 | | |
| ZONING DISTRICT: | LIGHT INDUSTRIAL (LI) | | |
| OCCUPANCY: | B | BUSINESS | |
| | S-2 | STORAGE | |
| CONSTRUCTION TYPE: | TYPE III-B | | |
| LOT AREA: | 6,523 SQ. FT. | | |
| BUILDING FOOTPRINT: | 2,200 SQ. FT. | | |
| BUILDING AREA: | MAIN LEVEL: | | |
| | B | | 567 SQ. FT. |
| | S-2 | | 1,633 SQ. FT. |
| | SECOND LEVEL : | | |
| | B | | 505 SQ. FT. |
| | TOTAL AREA: | | 2,705 SQ. FT. |
| BUILDING SETBACK/EASEMENTS: | FRONT: | 9'-0" | |
| | REAR: | 28'-0" | |
| | SIDES: | 0'-6" | |

DESIGN CODE:

- 2018 INTERNATIONAL BUILDING CODE (2018 IBC)*
- 2018 INTERNATIONAL FIRE CODE (2018 IFC)*
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (2018 IECC)*
- 2018 INTERNATIONAL MECHANICAL CODE (2018 IMC)*
- 2018 INTERNATIONAL PLUMBING CODE (2018 IPC)*
- 2017 NATIONAL ELECTRICAL CODE (2017 NEC)*

*WITH STATE AND LOCAL AMENDMENTS

CLIMATE ZONE:

6B (BLAINE COUNTY)

ALARM & DETECTION:

DESIGN-BUILD ALARM & DETECTION SYSTEM SHALL BE INSTALLED & MONITORED IN ACCORDANCE WITH 2018 IBC CHAPTER 9, 2018 IFC CHAPTER 9 & APPLICABLE CITY OF BELLEVUE CODES, STATUTES AND RULES.

PARKING:

5 SPACES AT 9'-0" X 19'-0"

STRUCTURAL DESIGN CRITERIA:

REFER TO SHEET S1.0

SPECIAL INSPECTION:

REFER TO S1.1

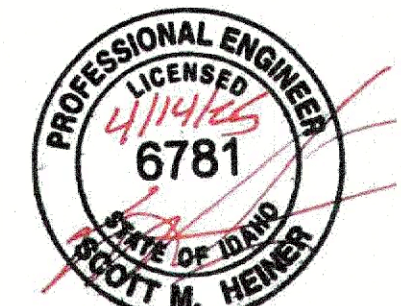
| | | | | | | | | | | | | | | |
|------|------------------------|------|------|-----------------------|-------|------------------------|-----|-------------------------------------------|-----|--------------------------------------|------|----------------------------------|------|----------------|
| A | AND | AST | CMU | CONSTRUCTION MANAGER | EW | EACH WAY | HGR | HANGER | MIN | MINIMUM | RCP | REFLECTED CEILING PLAN | T/D | TELEPHONE/DATA |
| B | ANCHOR BOLT | COL | CMU | CONCRETE MASONRY UNIT | EXIST | EXISTING | HGR | HOLLOW METAL | MO | MASONRY OPENING | ROD | ROOF DRAIN | T/LT | TELEPHONE |
| AB | ABOVE | COL | EXP | EXPOSED STRUCTURE | EX | EXTERIOR | MRG | MIRRORED | MOB | MOISTURE RESISTANT CYPSTM WALL BOARD | REF | REFURGERATOR | T/T | TOILET |
| ABV | ABOVE | CONC | CONC | CONCRETE | EXT | EXTERIOR | HP | HIGH POINT | MTL | METAL | REIN | REINFORCEMENT | TEMP | TEMPERED GLASS |
| AC | ALUMINUM CHECKER PLATE | EXTN | EXTN | EXTENSION | FA | FROM ABOVE | HSA | HEADED STUD ANCHOR | N/A | NOT APPLICABLE | REQD | REQUIRED | TEXT | TEXTURE |
| ADD | ADDITIONAL | CONT | CONT | CONTINUOUS | FA | FROM ABOVE | HSA | HEADED STUD ANCHOR | N/A | NOT APPLICABLE | RETG | RETAINING | THK | THICK |
| ADJ | ADJUSTABLE | CFT | CFT | COLD ROOF RAFTER | HT | HIGH | HSS | HOLLOW STEEL SECTION | N/C | NOT IN CONTRACT | RN | ROOM | THRD | THREADED |
| AF | AFRONT FINISH FLOOR | CT | CT | COUNTER SINK | FTE | FINISH FLOOR ELEVATION | HSV | HEATING, VENTILATING AND AIR CONDITIONING | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| ALUM | ALUMINUM | CT | CT | CERAMIC TILE | FTE | FINISH FLOOR ELEVATION | HSV | HEATING, VENTILATING AND AIR CONDITIONING | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| ARCH | ARCHITECT | CT | CT | CERAMIC TILE | FTE | FINISH FLOOR ELEVATION | HSV | HEATING, VENTILATING AND AIR CONDITIONING | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| ARCH | ARCHITECT | CT | CT | CERAMIC TILE | FTE | FINISH FLOOR ELEVATION | HSV | HEATING, VENTILATING AND AIR CONDITIONING | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | IN | N/C | NOT IN CONTRACT | SDC | SUSPENDED DRYWALL FURRED CEILING | TOP | TOP OF |
| B.B. | BACK BOARD | CTD | CTD | COURT YARD | FIN | FINISH | IN | | | | | | | |

OWNER
GREGORY BALLANTYNE
P.O. BOX 2485 Hailey, ID 83333

STRUCTURAL ENGINEER
RUSCITTO LATHAM BLANTON ARCHITECTURA P.A.
P.O. Box 5619 Ketchum, ID 83340
208.726.5608
SCOTT HEINER, P.E.
scott@rlb-sv.com

CIVIL ENGINEER
GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 Belle Drive Ketchum, ID 83340
208.726.9512
benchmark-associates.com

| | |
|-----------------------------|----------------------------------------|
| <u>ARCHITECTURAL</u> | |
| A0.0 | PROJECT INFORMATION |
| A1.0 | SURVEY |
| A1.1 | SITE PLAN |
| A2.0 | FLOOR PLANS |
| A3.0 | ELEVATIONS |
| A4.0 | EXTERIOR LIGHTING, ROOF PLAN & SECTION |
| <u>STRUCTURAL</u> | |
| S1.0 | STRUCTURAL SPECIFICATIONS |
| S1.1 | STRUCTURAL SPECIAL INSPECTION REQUIRE |
| S2.0 | FOUNDATION & MAIN FLOOR FRAMING PLA |
| S3.0 | UPPER FLOOR FRAMING PLAN |
| S4.0 | ROOF FRAMING PLAN |
| D2.0 | STRUCTURAL DETAILS |
| D3.0 | STRUCTURAL SECTION |



BL

CRUSCITO LATHAM BLANTON
ARCHITECTURA P.A.

via po box 5619 ketchum, id 83340
tel. 208.726.5608
www.rlb-sv.com

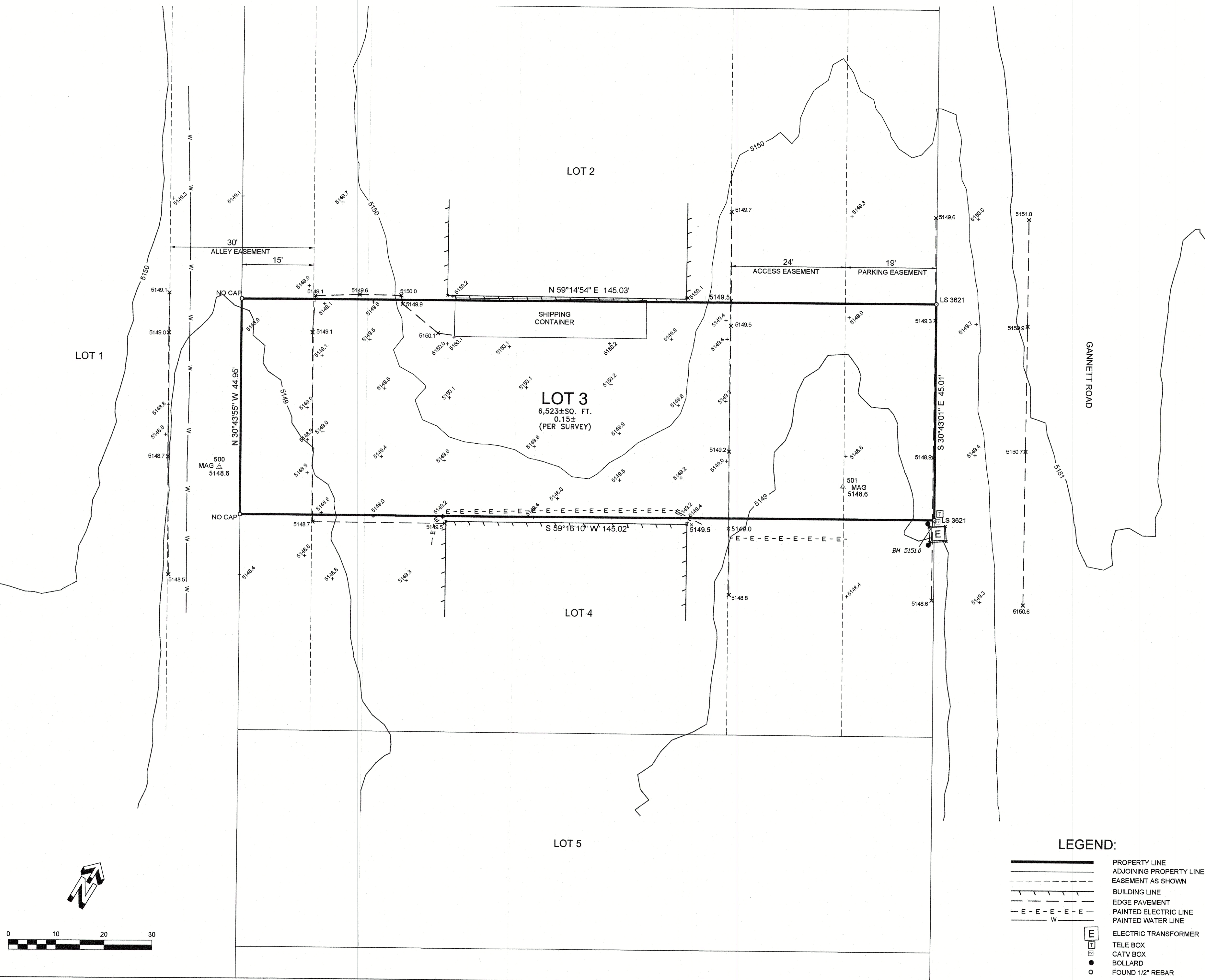
SOUTHERN BELLE BUSINESS PARK LOT 3
32 GANNETT ROAD | BELLEVUE, IDAHO

COPYRIGHT © 2025
DRAWING

PROJECT INFORMATION

DWG. #

A 0.0



NOTES

SURVEY NARRATIVE:

1. THE PURPOSE OF THIS MAP IS TO SHOW LIMITED SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED IN RELATION TO PLATTED LOT LINES. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE. LOT LINES ARE BASED ON FOUND MONUMENTS, ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS.
2. REFERENCED SURVEYS: SOUTHERN BELLE BUSINESS PARK SUBDIVISION INST. 396668.
3. BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
4. VERTICAL DATUM: ELEVATIONS BASED ON NAVD 88.
5. UNDETERMINED UTILITIES SHOWN HEREON ARE NOT SHOWN HEREON.
6. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT BY GALENA-BENCHMARK ENGINEERING AND IS NOT VALID OR TO BE USED BY OTHER PARTIES FOR ANY REASON INCLUDING BUT NOT LIMITED TO REAL ESTATE TRANSACTIONS, BUILDING APPLICATIONS, PERMITS, ETC.
7. THIS POLICY HAS NOT BEEN SUBMITTED TO GALENA-BENCHMARK ENGINEERING, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
8. ELECTRONIC DATA: GALENA-BENCHMARK ENGINEERING ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF INFORMATION CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE ONLY TRUE COPY.
9. THIS DRAWING IS VALID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

EASEMENTS, ENCUMBRANCES AND RESTRICTIONS

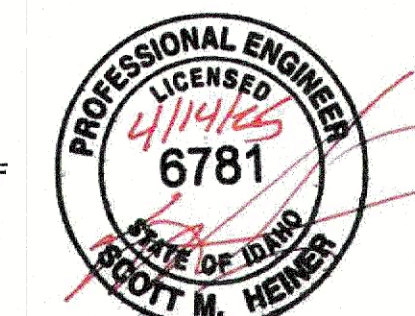
10. BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY. VARIATION FROM PLAT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
- GENERAL RESTRICTIONS : EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS SITE PLAN, THIS SITE DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLY TO IT SUBJECT TO THE EXISTING EASEMENTS, EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, FLOODING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.

SURVEY AND SITE FEATURES.

12. BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83, CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN INTERNATIONAL FEET.
13. PROPERTY LINE ALSO CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & C&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
14. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UTILITIES, GROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
15. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
16. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
17. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
18. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF PHOTOGRAPHY ABOVE GROUND BUILDINGS, POWER POLES, ETC., MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
19. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
20. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE CAUTION SCALE. UNPRINTED SCALE.
21. FEATURES OBSERVED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

LEGEND:

- | | |
|--|-------------------------|
| | PROPERTY LINE |
| | ADJOINING PROPERTY LINE |
| | EASEMENT AS SHOWN |
| | BUILDING LINE |
| | EDGE PAVEMENT |
| | PAINTED ELECTRIC LINE |
| | PAINTED WATER LINE |
| | ELECTRIC TRANSFORMER |
| | TELE BOX |
| | CATV BOX |
| | BOLLARD |
| | FOUND 1/2" REBAR |

[illegible]

R **RUSCITO LATHAM BLANTON**
B **L** **A** **R** **C** **H** **I** **T** **E** **C** **T** **U** **R** **A** **P** **A**
705.776.6608
www.rlb.com

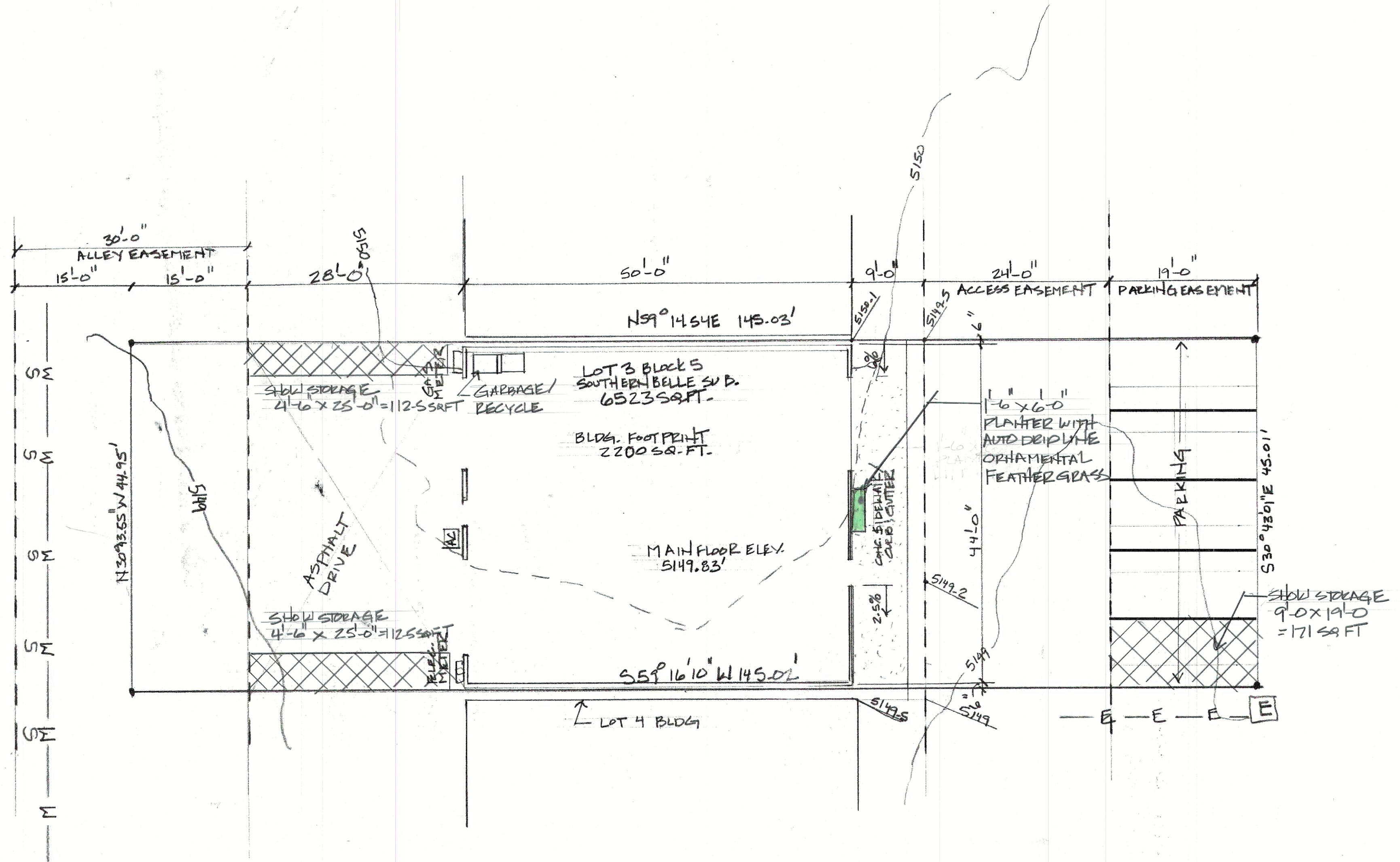
SOUTHERN BELLE BUSINESS PARK LOT 3
32 GANNETT ROAD | BELLEVUE, IDAHO

COPYRIGHT © 2025
DRAWING

SURVEY

DWG. #

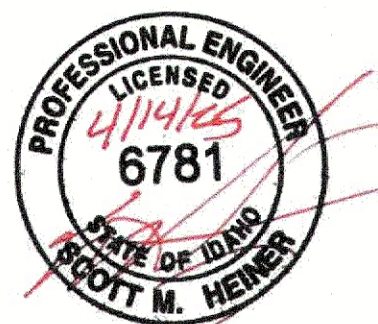
A1.0



SITE PLAN
SCALE: 1" = 1'-0"



| ISSUED | |
|------------|-----------------|
| 10.10.2021 | DESIGN REVIEW |
| 04.14.2025 | BUILDING PERMIT |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |



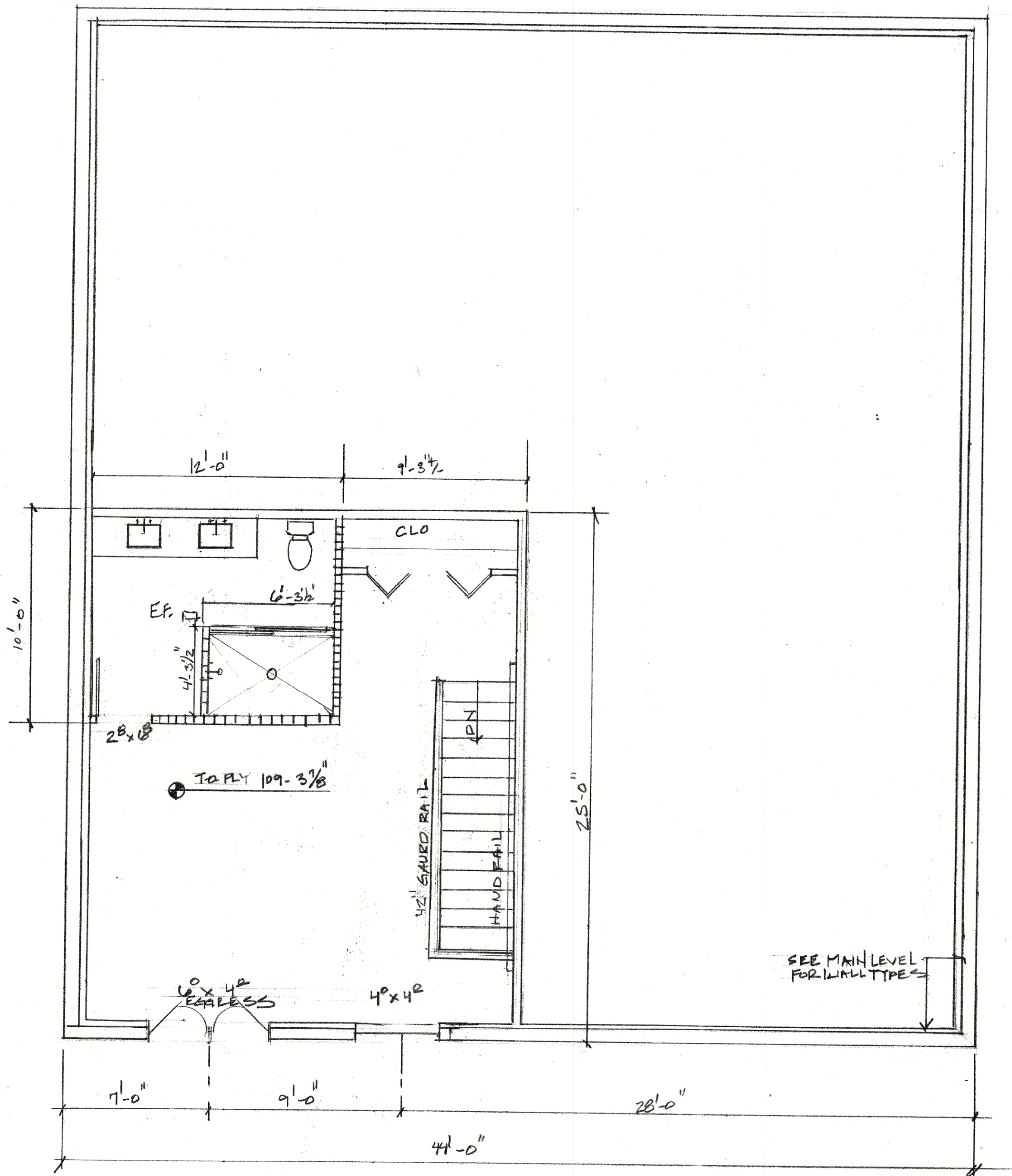
SOUTHERN BELLE BUSINESS PARK LOT 3
32 GANNETT ROAD | BELLEVUE, IDAHO

COPYRIGHT © 2025
DRAWING

SITE PLAN

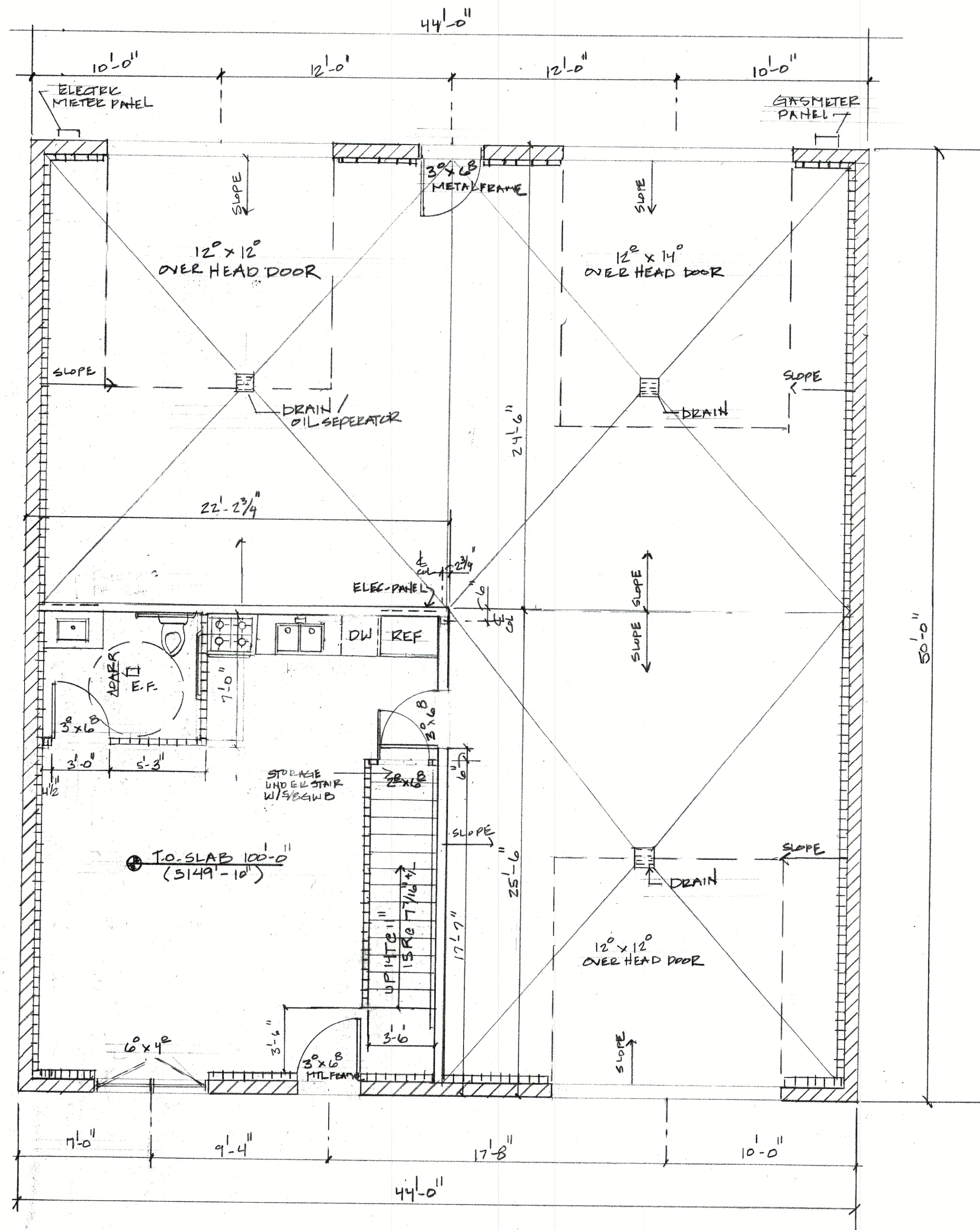
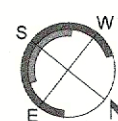
DWG. #

A1.1



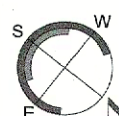
UPPER FLOOR PLAN

SCALE: 1/8" = 1'-0"

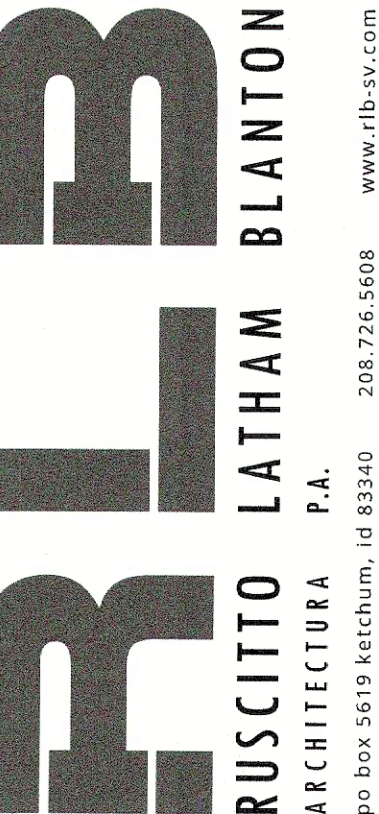
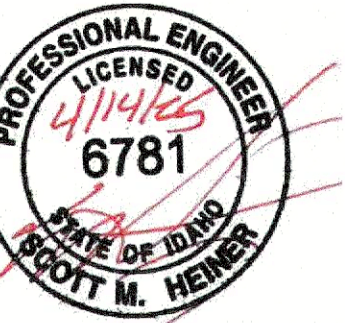


MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"



| ISSUED | |
|------------|-----------------|
| 10.10.2021 | DESIGN REVIEW |
| 04.14.2025 | BUILDING PERMIT |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |



SOUTHERN BELLE BUSINESS PARK LOT 3
32 GANNETT ROAD | BELLEVUE, IDAHO

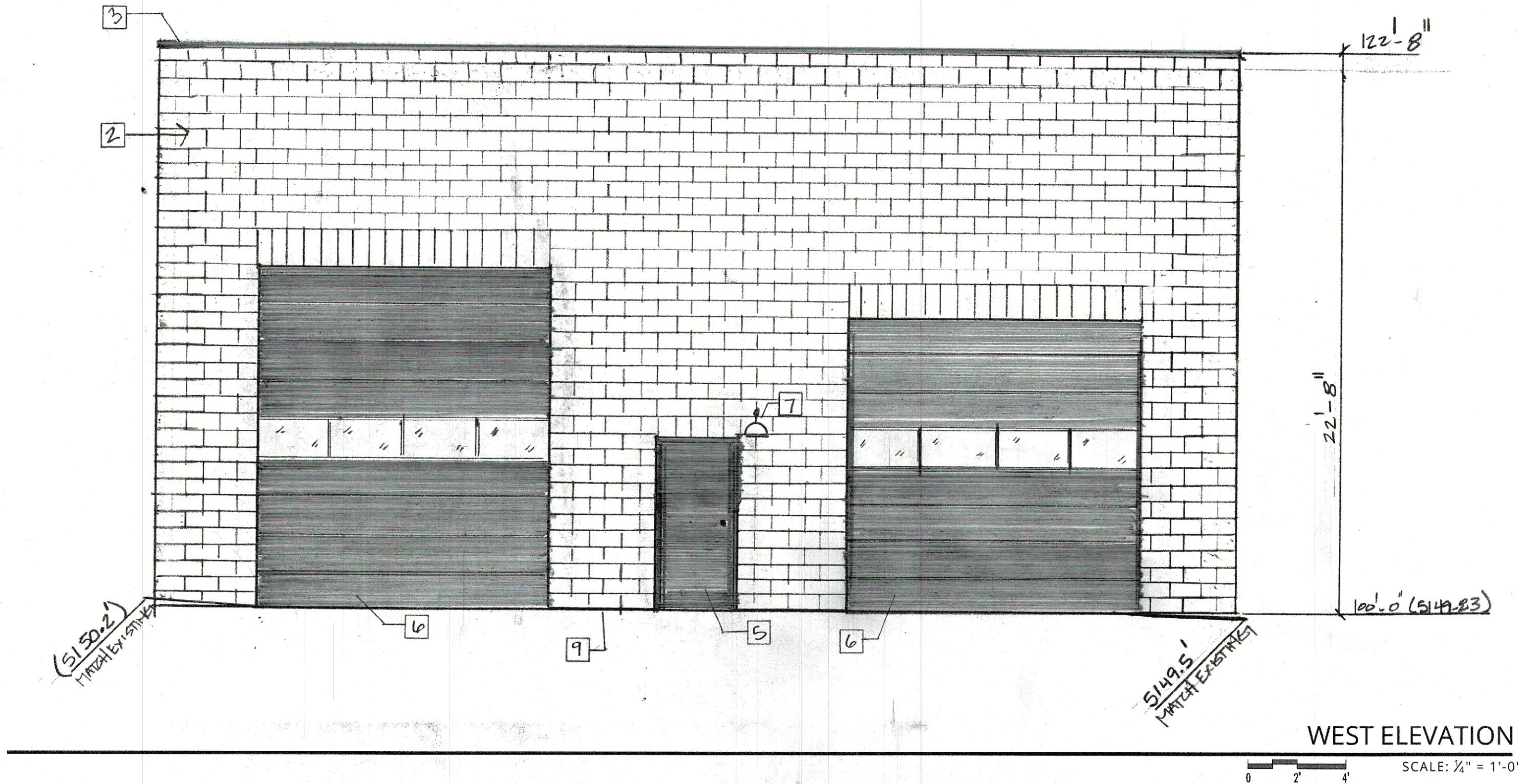
COPYRIGHT © 2025

DRAWING

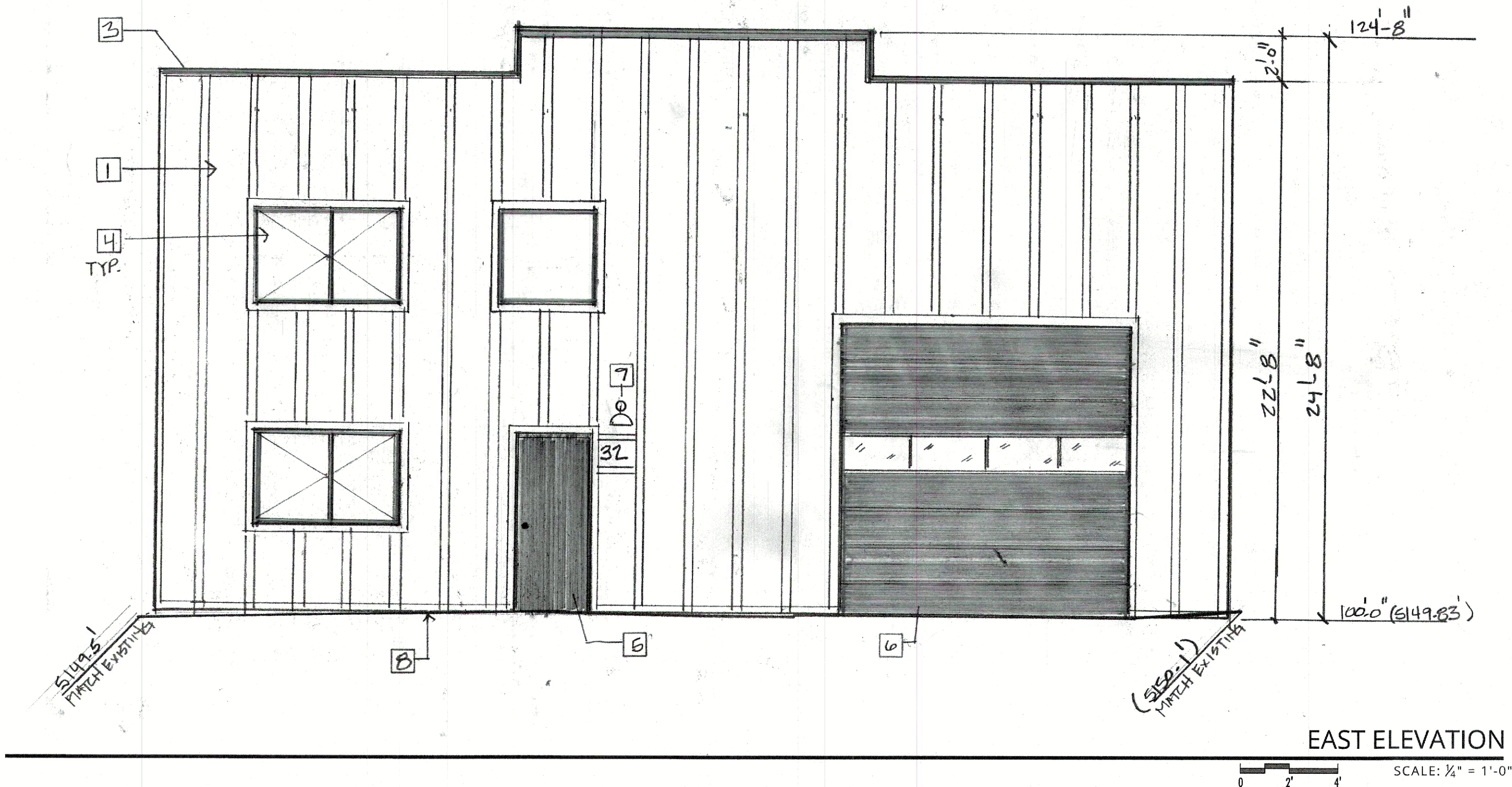
FLOOR PLANS

DWG. #

A 2.0



- 1 PAINTED WOOD BOARD BATT OVER CMU
- 2 PAINTED SMOOTH FACE CMU
- 3 KYNAR FLASHING
- 4 VINYL WINDOWS
- 5 METAL INSULATED DOOR
- 6 METAL INSULATED SECTIONAL DOOR W/RC LIGHT WINDOWS
- 7 EXTERIOR LIGHT TO COMPLY WITH BLAINE COUNTY OUTDOOR LIGHTING ORDINANCE
- 8 CONCRETE SIDEWALK/GUTTER
- 9 ASPHALT PAVING



- WOOD SIDING & CMU BLOCK PAINTED WHITE
- GARAGE DOORS, MAIN DOORS, WINDOW FRAMES, FLASHING, BLACK

| ISSUED | |
|------------|-----------------|
| 10.10.2021 | DESIGN REVIEW |
| 04.14.2025 | BUILDING PERMIT |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |



R L B
RUSCITTO LATHAM BLANTON
ARCHITECTURE P.A.
PO BOX 5619 MECHEM, ID 83240
208.726.5608
www.rlb-sv.com

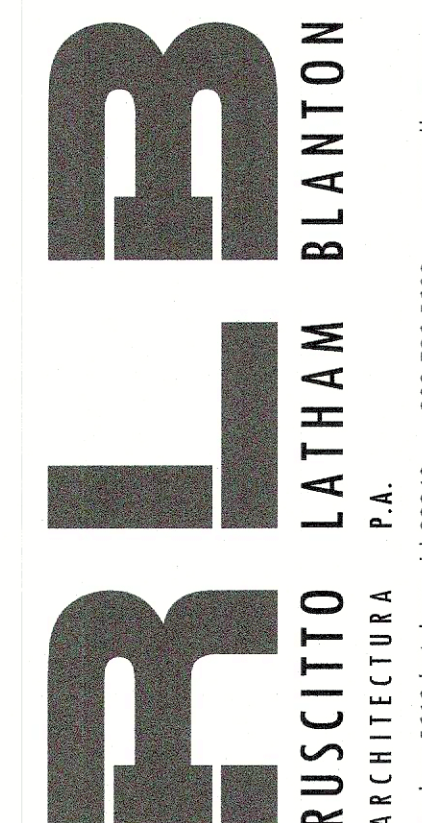
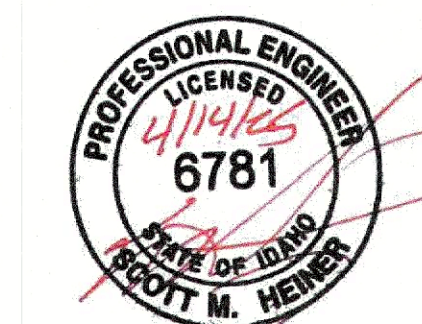
SOUTHERN BELLE BUSINESS PARK LOT 3
32 GANNETT ROAD | BELLEVUE, IDAHO

COPYRIGHT © 2025
DRAWING

ELEVATIONS

DWG. #

A 3.0

[illegible]

SOUTHERN BELLE BUSINESS PARK LOT 3
32 GANNETT ROAD | BELLEVUE, IDAHO

COPYRIGHT © 2025
DRAWING

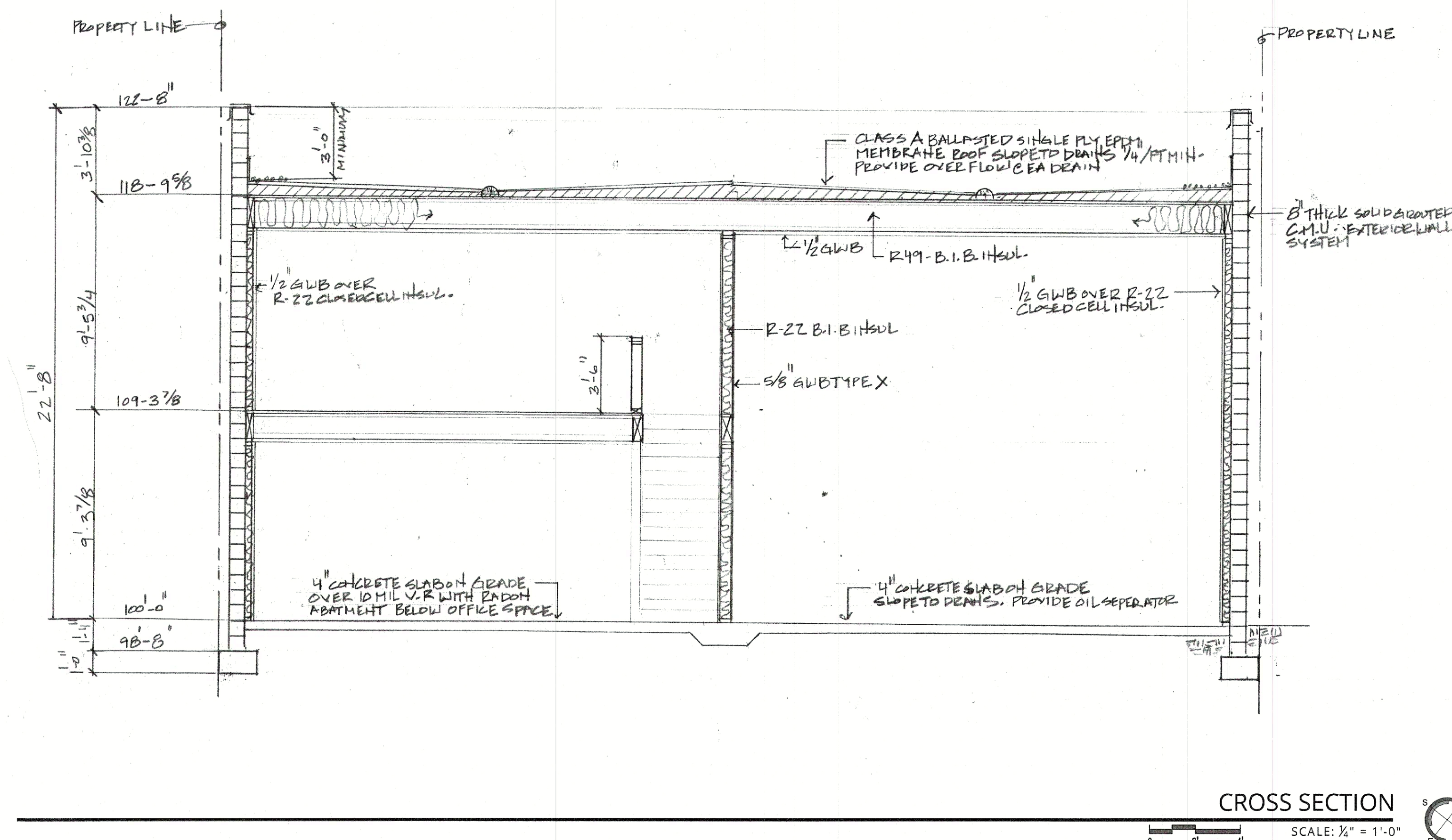
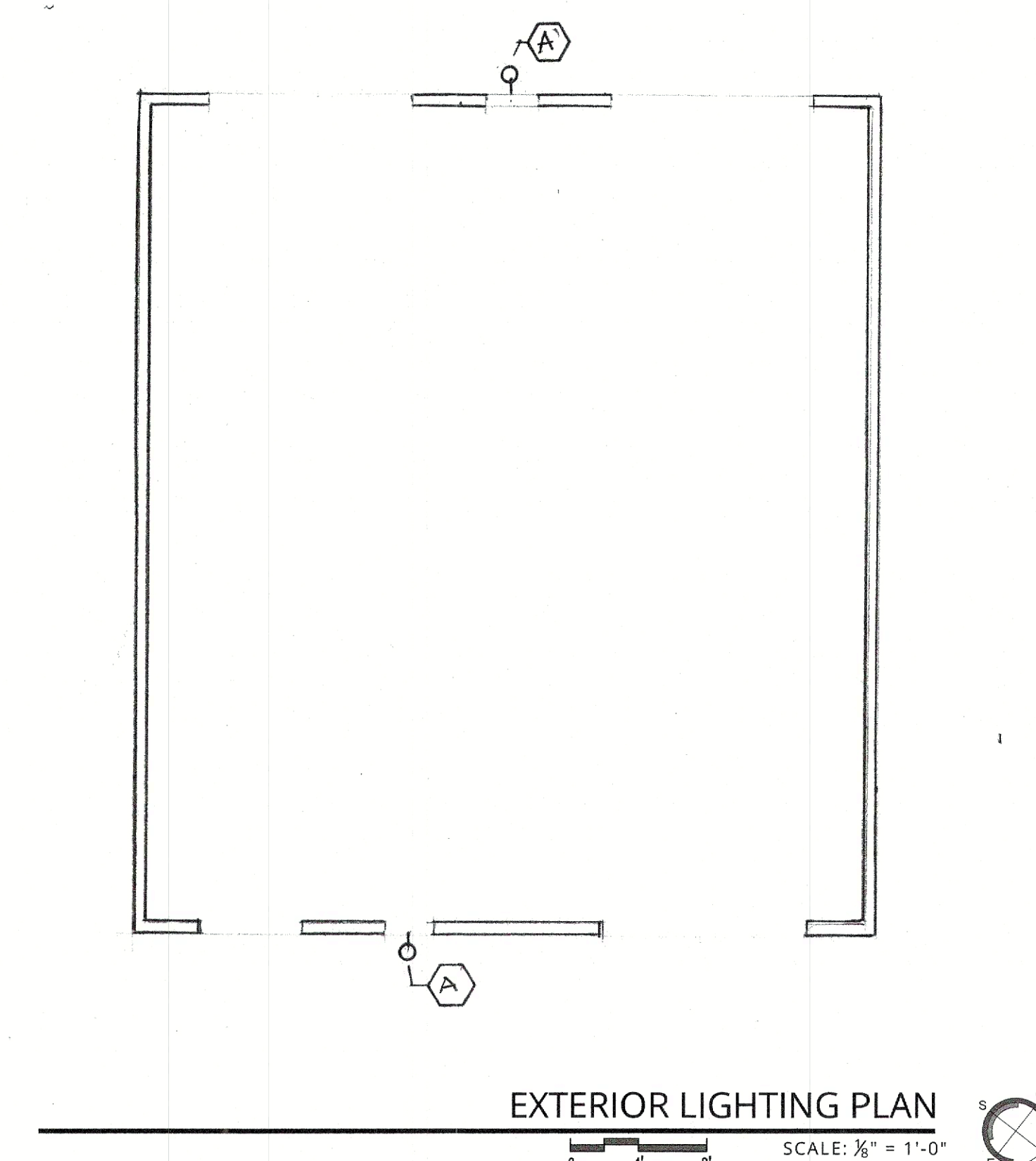
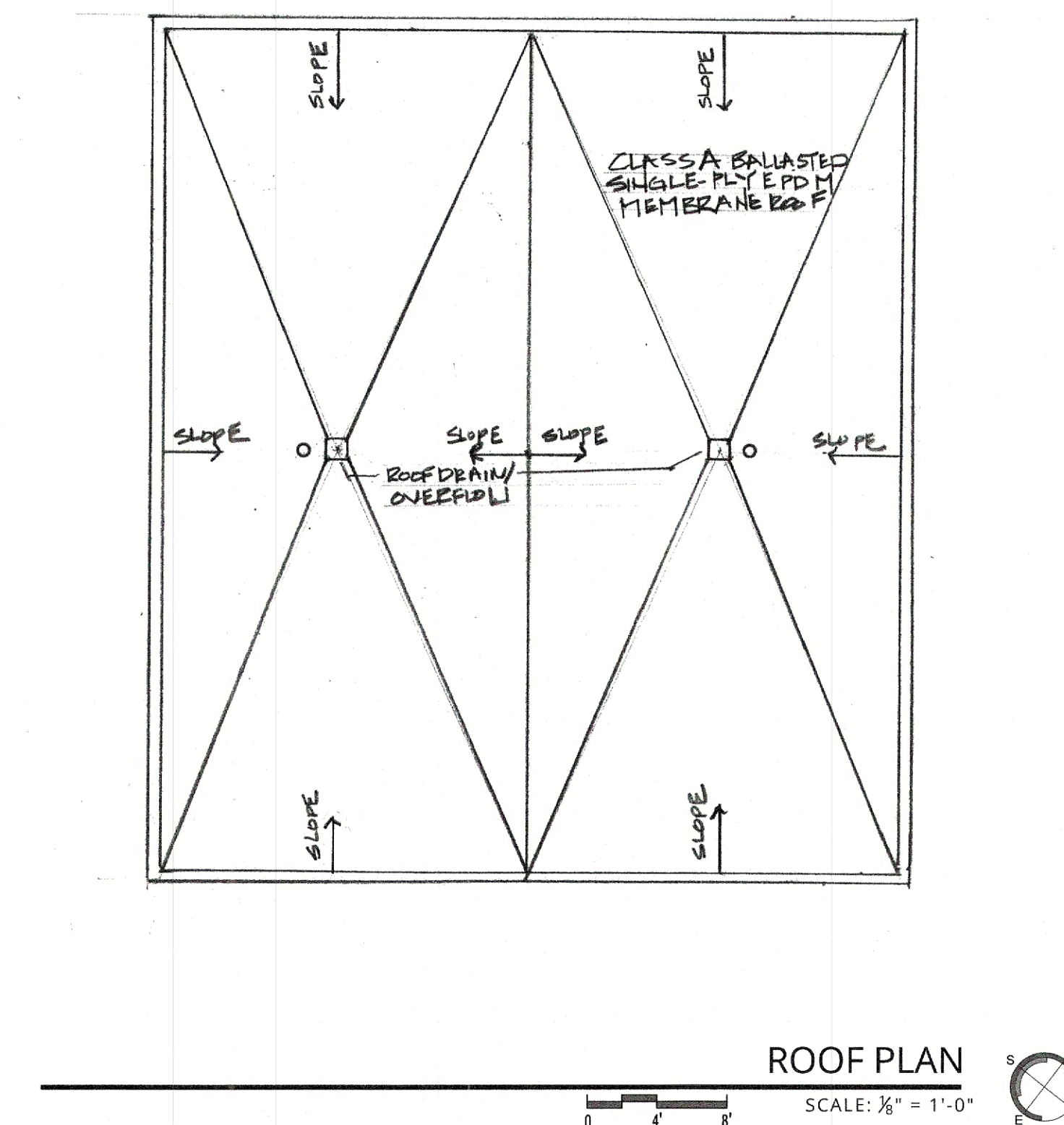
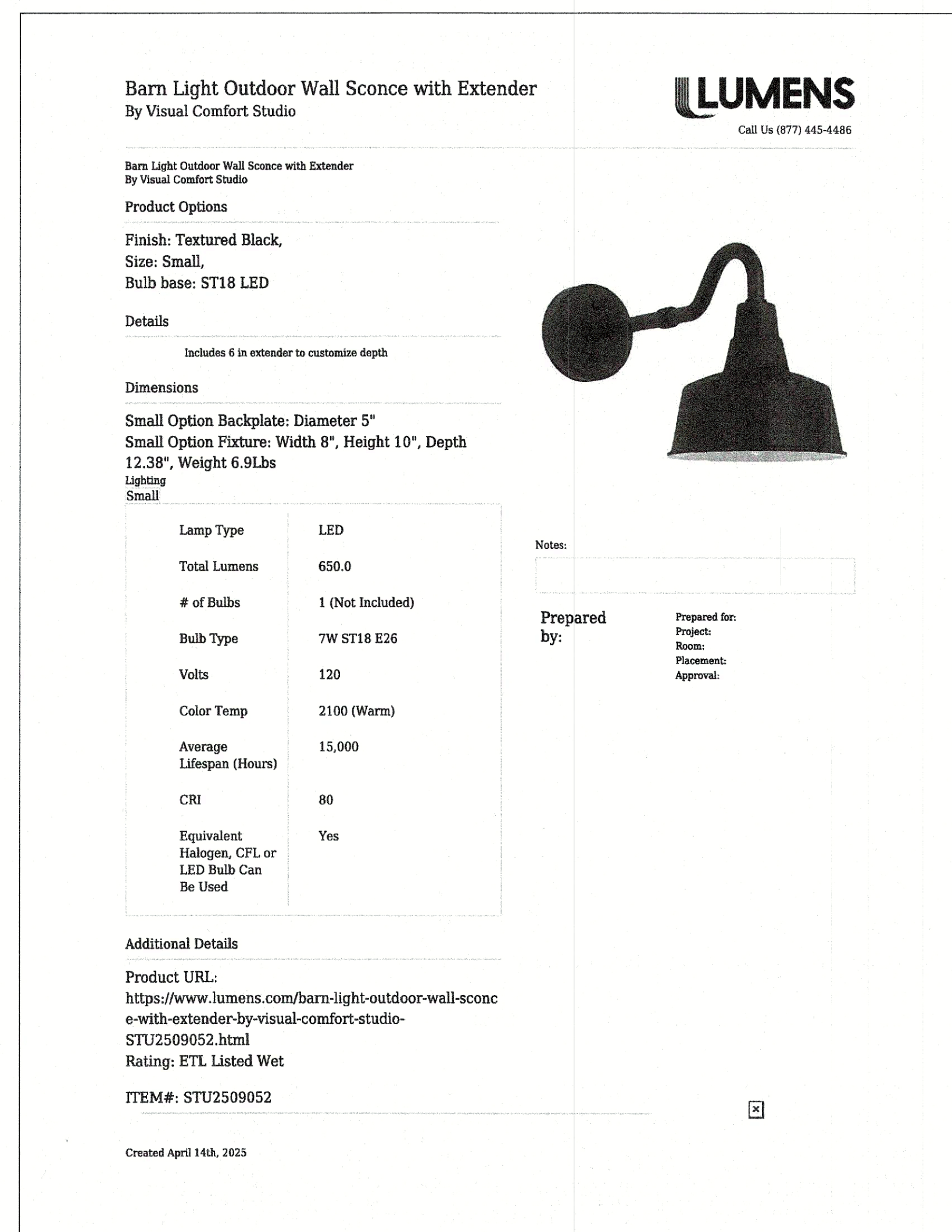
EXTERIOR
LIGHTING,
ROOF PLAN &
SECTION

DWG. #

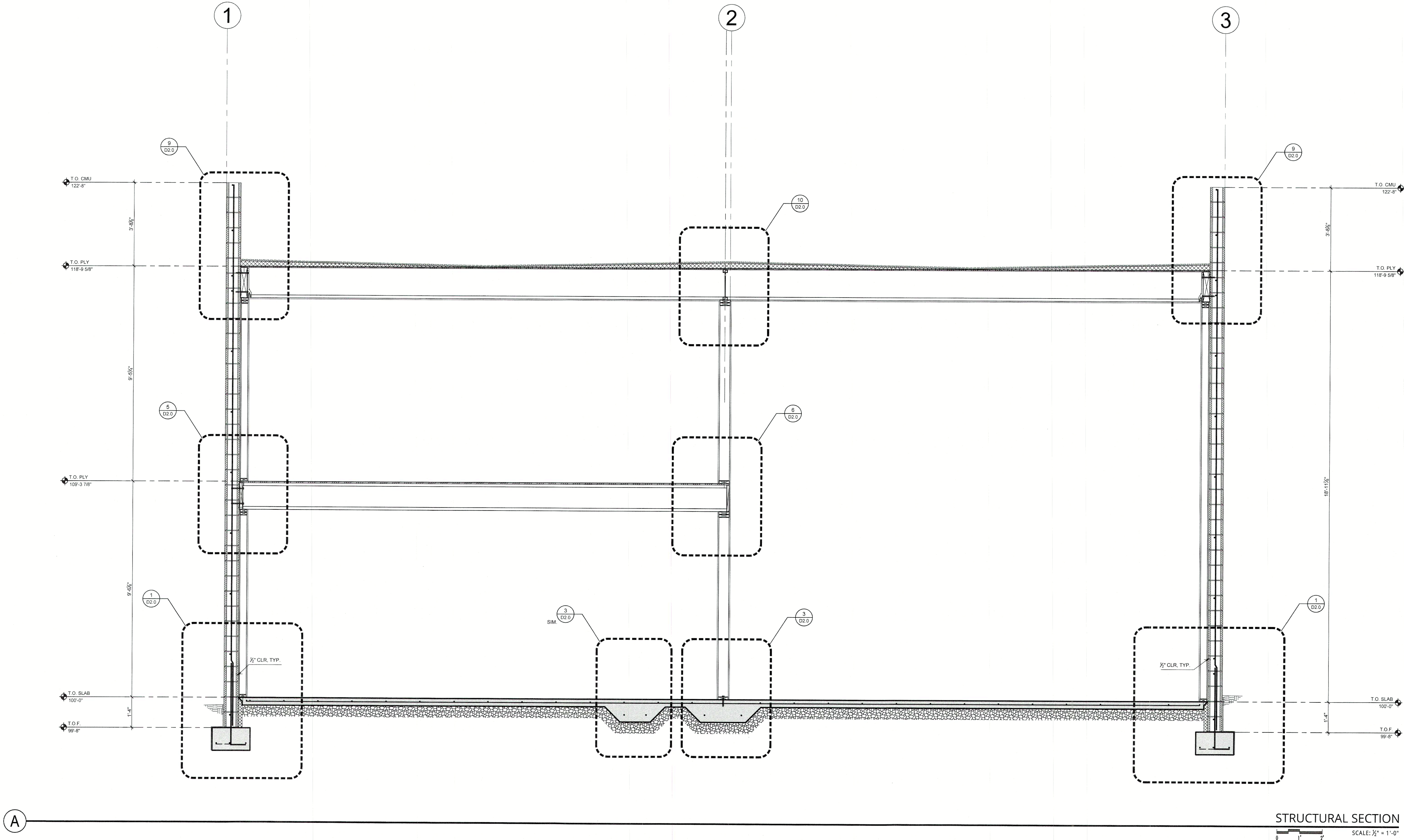
A 4.0

NOTE:

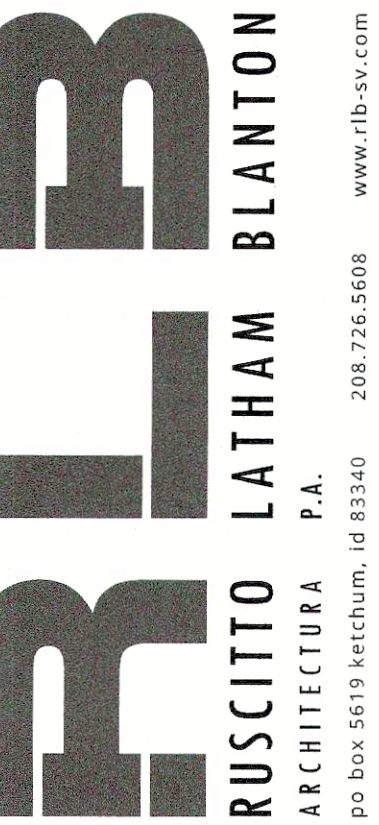
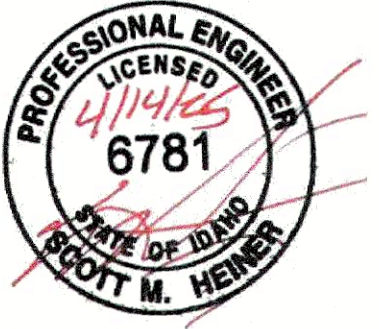
OUTDOOR LIGHTING TO MEET BLAINE COUNTY
OUTDOOR LIGHTING ORDINANCE.



OWNERSHIP OF DOCUMENTS: This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of RUSCITTO LATHAM BLANTON ARCHITECTURA P.A., and is not to be used, in whole or in part, for any other project without written authorization of RUSCITTO LATHAM BLANTON ARCHITECTURA P.A.



| ISSUED | |
|------------|-----------------|
| 10.10.2021 | DESIGN REVIEW |
| 04.14.2025 | BUILDING PERMIT |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |



SOUTHERN BELLE BUSINESS PARK LOT 3
32 GANNETT ROAD | BELLEVUE, IDAHO

COPYRIGHT © 2025
DRAWING

STRUCTURAL
SECTION

DWG. #

D 3.0