



**CITY OF BELLEVUE, IDAHO**  
Planning and Zoning Commission  
**Monday, August 4, 2025, 5:30 PM**  
115 Pine Street, Bellevue, Idaho 83313

**AGENDA**

**JOIN ZOOM MEETING**

<https://us02web.zoom.us/j/84139399633?pwd=eDCQNSeuEYsa42qesc0b5FawDaXBGa.1>

**Meeting ID:** # 841 3939 9633

**Passcode:** # 900164

**One tap mobile**

+1-253-215-8782 US (Tacoma)

+1-346-248-7799 US (Houston)

**CALL TO ORDER**

**ROLL CALL**

**1. NOTICE OF AGENDA COMPLIANCE - ACTION ITEM**

*Finding that the regular meeting notice and agenda were posted in accordance with Idaho Code §74-204 within forty-eight (48) hours prior to the meeting at: the City of Bellevue City Hall, Post Office, on the City's website on **July 30, 2025**.  
(Suggested Motion: I move the notice for the August 4, 2025, regular Meeting was completed in accordance with Idaho Code, Section §74-204.)*

**2. CALL FOR CONFLICT:** (As outlined in Idaho Code §74-404)

**3. PUBLIC COMMENT:** For items of concern NOT on the Agenda.

**4. NEW BUSINESS – ACTION ITEM**

a. **DR-25-07 – Greg Ballentyne – 32 Gannett Road**

An application for Design Review Approval a structure within the Light Industrial zone located at 32 Gannett Road.

**5. NEXT MEETING**

a. Regular Meeting – August 18, 2025

**6. ADJOURNMENT - ACTION ITEM**

I, designated Planning Commission Secretary for the City of Bellevue, Idaho, hereby certify that the regular meeting notice and agenda were posted in accordance with **Idaho Code §74-204** within forty-eight (48) hours prior to the meeting at: the City of Bellevue City Hall, Post Office, and on the City of Bellevue Website: <https://www.bellevueidaho.us/> on **July 30, 2025**.

In compliance with the American with Disabilities Act, individuals needing special accommodations during this meeting should notify the City of Bellevue, 115 East Pine Street, Bellevue, Idaho 83313, or **phone number 208-788-2128 ext. 8, at least twenty-four (24) hours prior to the meeting.**



**CIUDAD DE BELLEVUE, IDAHO**  
Comisión de Planificación y Zonificación  
**Lunes 4 de agosto de 2025, 17:30**  
115 Pine Street, Bellevue, Idaho 83313

## ORDEN DEL DÍA

### ÚNETE A LA REUNIÓN DE ZOOM

<https://us02web.zoom.us/j/84139399633?pwd=eDCQNSeuEYsa42qesc0b5FawDaXBGa.1>

ID de la reunión: # 841 3939 9633

Código de acceso: # 900164

### Móvil con un solo toque

+1-253-215-8782 US (Tacoma)

+1-346-248-7799 US (Houston)

### LLAMAR AL ORDEN

### LISTA

### 1. AVISO DE CUMPLIMIENTO DE LA AGENDA - PUNTO DE ACCIÓN

Constatando que el aviso y la agenda de la reunión regular se publicaron de conformidad con el Código de Idaho §74-204 dentro de las cuarenta y ocho (48) horas previas a la reunión en: el Ayuntamiento de la ciudad de Bellevue, la oficina de correos, en el sitio web de la ciudad el **30 de julio de 2025**. ( Moción sugerida: Propongo que la notificación para la reunión ordinaria del 4 de agosto de 2025 se complete de conformidad con el Código de Idaho, Sección §74-204 ).

### 2. LLAMADA AL CONFLICTO: (Como se describe en el Código de Idaho §74-404)

### 3. COMENTARIO PÚBLICO: Para temas de preocupación que NO están en la Agenda.

### 4. NUEVO NEGOCIO – PUNTO DE ACCIÓN

#### a. DR-25-07 – Greg Ballentyne – 32 Gannett Road

Una solicitud de aprobación de revisión de diseño para una estructura dentro de la zona industrial ligera ubicada en 32 Gannett Road.

### 5. PRÓXIMA REUNIÓN

#### a. Reunión ordinaria – 18 de agosto de 2025

### 6. APLAZAMIENTO - PUNTO DE ACCIÓN

Yo, el Secretario designado de la Comisión de Planificación de la Ciudad de Bellevue, Idaho, por la presente certifico que el aviso y la agenda de la reunión regular se publicaron de conformidad con el **Código de Idaho §74-204** dentro de las cuarenta y ocho (48) horas anteriores a la reunión en : el Ayuntamiento de la Ciudad de Bellevue, la Oficina de Correos y en el sitio web de la Ciudad de Bellevue : <https://www.bellevueidaho.us/> el **30 de julio de 2025**.

De conformidad con la Ley de Estadounidenses con Discapacidades, las personas que necesiten adaptaciones especiales durante esta reunión deben notificar a la Ciudad de Bellevue, 115 East Pine Street, Bellevue, Idaho 83313, o **al número de teléfono 208-788-2128 ext. 8, al menos veinticuatro (24) horas antes de la reunión** .



**DR-25-07**

**Staff Report**

32 Gannett Road

Bellevue Planning & Zoning Commission

August 4, 2025

**Ballantyne  
Building**

# Executive Summary

## Description

An application for Design Review Approval a structure within the Light Industrial zone located at 32 Gannett Road.

## Discussion

- The applicant is requesting to construct a general purpose building within the Light Industrial zone. Bellevue City Code Section 10-17-3 requires Design Review Approval for structures within the LI - Light Industrial zone.
- The proposed building is generally consistent with the Design Review Standards of Bellevue City Code Section 10-17-5.

## Recommendations

### Actions

Based upon the record provided to date, Staff recommends approval of the subject application with the conditions of approval identified below. Suggested motion:

“I move that we approve DR-25-07 with the conditions identified within the Staff Report, and to direct Staff to prepare Findings of Fact, Conclusions of Law, and Decision documents reflecting this recommendation based on the record provided.”

### Notice of Expiration

Pursuant to Bellevue City Code Section 10-17-7(A), approval of the Design Review application shall expire if the application has not applied for a building permit within one (1) year of the final action by the Commission.

## Project Location



# Project Analysis

## Description

An application for Design Review Approval a structure within the Light Industrial zone located at 32 Gannett Road.

## Legal Description

Lot 3 ,Block 5, Southern Belle Business Park, located within Section 1, Township 1 North, Range 18 East, B.M., City of Bellevue, Blaine County, Idaho.

## Associated Documents

Document Name	Receipt of Last Revision
Application	March 6, 2025
Colored Building Elevations	March 6, 2025
Paint Color	March 11, 2025

## Public Noticing

Pursuant to Bellevue City Code Section 10-17-4(C), public notice is not required for Design Review applications.

## Required Findings Code Sections

### Bellevue City Code Section 10-17-5: Design Review Standards and Criteria:

The following list of design review criteria shall be met by each applicant seeking design review approval. The Planning and Zoning Commission shall use said criteria to determine whether a project is to be approved or denied. A building which is allowed by right in this title may be reduced in bulk, height or other physical dimension by requirement of the commission only if found necessary to protect the public health, safety and/or welfare. If a development project is to be built in phases, each phase shall be subject to the design standards and criteria described in this section, and each phase independently shall meet said criteria and standards.

#### A. Site Planning:

- Buildings shall be situated in a manner that preserves existing land forms, trees and other significant vegetation and shall not interrupt waterways or change other natural drainage patterns in a manner which adversely affects adjacent property. Removal of existing trees of greater than six inch (6") caliper is subject to review.
- Buildings shall be sited so that their form does not break prominent natural ridge lines.
- Buildings and parking areas shall be clustered to provide for more usable open space. All accesses from alleys shall require improvements installed by the applicant/owner when applicable including, but not limited to, an asphalt surface or compacted gravel surface as determined by the City Public Works Department. The applicant/owner shall be responsible for relocation of applicable City services/utilities, repair of any damaged City services, snow plowing and snow removal.

4. The alignment of roads and driveways shall follow the contours of the site, and cuts and fills shall be minimized.
5. Retaining walls shall be discouraged, and such walls over three feet (3') high shall be stepped to form a number of benches to be landscaped.
6. Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.
7. A snow storage plan, as a component of the site plan, is required. The plan shall comply with the following requirements:
  - a. Use of sidewalks and required parking areas for snow storage is prohibited.
  - b. Snow storage within one hundred feet (100') of stream banks is prohibited.
  - c. Use of landscaped areas for snow storage may be allowed under the approved snow storage plan.
  - d. Snow storage areas shall be incorporated in site design as well as designs that anticipate snow shedding areas.
  - e. Snow storage areas shall not adversely affect neighboring properties.
  - f. Building design shall prevent water from dripping or snow from sliding on pedestrian areas, entrances of buildings, garages and adjacent properties.
  - g. Snow storage areas for parking lots containing twenty (20) spaces or more shall be located on site in an amount which is equal to at least one-third (1/3) of the hard surfaces proposed with the project. The one-third (1/3) amount may be reduced by the use of a snowmelt system, or for good cause demonstrated.
  - h. Where snow storage areas cannot be provided on site because of existing buildings or approved building design, an adequate snow hauling plan shall be submitted for and subject to approval by the Planning and Zoning Commission.

The Planning and Zoning Commission may impose such restrictions on snow removal operations as are necessary to reduce the effects of noise or traffic on surrounding areas.

8. Visual impact of on site parking, service, trash and loading areas shall be minimized whenever possible by locating these areas to the rear of the building and providing screening with landscaping or fences from adjacent properties and public ways.
9. Adequate enclosed on site storage for trash shall be provided for each unit of accessory dwelling units, multi-family and townhouses.
10. All utilities shall be installed underground in accordance with the City standards and in a manner and location approved by the City Engineer.
11. Building and parking areas shall be designed to provide proper ingress and egress; safe, adequate and efficient pedestrian and vehicular traffic circulation; and the efficient and safe arrangement of on site parking, building location, and circulation.
12. Multi-family and townhouses shall provide a minimum of two (2) on site parking spaces for each unit. Accessory dwelling unit parking requirements shall be one off street parking space for a one bedroom ADU and two (2) parking spaces for ADUs with two (2) to three (3) bedrooms.
13. Adequate unobstructed access for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project shall be provided.

B. Architecture:

1. Generally:
  - a. Building and storefront design and construction shall reflect historical architecture styles and shall incorporate building materials, architectural design and features

representative of that historical period in Bellevue between 1880 and 1910. That architectural style includes frame and brick construction, frame and shiplap siding construction, horizontal log construction, and similar westward expansion motifs. Also, building design and construction shall preserve and incorporate any such existing structures and features, signage, exterior fixtures and other items from that period.

- b. A building exceeding eight thousand five hundred (8,500) square feet of building coverage shall incorporate a change in facade design, materials, color and/or height, or a combination thereof, that such building appears to be more than one building. These changes shall occur at a minimum of every fifty feet (50') of wall facade visible by the general public and at the ceiling line of the first floor on two-story buildings. In addition, the facade shall change in depth a minimum of two feet (2') at each such change in facade.
- c. All buildings in the B Business District shall have a minimum setback from wall/foundation to property line adjacent to Main Street/Highway 75 of three feet (3'), providing an area for covered seating, planters, special event advertising units and displays of merchandise, in addition to the specified requirements of subsection B1b of this section.
- d. All exterior mechanical equipment shall be screened on all sides with materials and colors matching the approved structure.
- e. Mechanical equipment and solar panels shall be hidden or de-emphasized.
- f. Metal siding shall not be permitted on buildings on parcels of real property abutting Main Street (State Highway 75) unless deemed appropriate by the Planning and Zoning Commission. All such buildings shall be constructed of or faced with materials that are similar in texture, finish, and appearance to natural materials. The use of natural materials such as wood, brick and stone shall be encouraged, and exterior wall colors shall be of natural earth tones.
- g. Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy conserving lighting of low intensity.
- h. Accessory dwelling unit sizes shall comply with section 10-2-1 of this title.

2. Multi-Family And Townhouses: Multi-family and townhouses shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and location of the site. Multi-family and townhouse design, style, scale, and aesthetics shall blend with its neighborhood. There shall be no repetitive side by side development of buildings. The City is looking for individual buildings by varying types and styles to make for a pleasant streetscape experience.

3. Accessory Dwelling Units (ADUs): ADUs shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and emulate the primary structure of the site. Design, style, scale, and esthetics shall blend with its neighborhood. Building materials and exterior architectural design shall be reflective of existing structures on the subject site and take into consideration the architectural style and materials of the general vicinity.

C. Landscaping; Parking; Lighting:

- 1. Exterior light fixtures and signs shall be nonglaring in design and installation so as not to adversely affect adjacent properties and public ways.
- 2. The design of fences, walls and retaining walls shall harmonize with the site and buildings in scale as well as in materials.

3. Preservation of significant natural features such as water, view, topography, and vegetation shall be incorporated in the landscape plan.
4. Site conditions, drought tolerance and local hardiness shall be considered to select appropriate plant species, including grasses for lawn areas.
5. Landscaping shall provide a substantial buffer between incompatible land uses and shall be used to screen from view and to mitigate visual impact of parking areas, loading areas, and garbage containers from adjacent properties and public ways.
6. Installation of adequate drip or other low consumption irrigation systems shall be required. Landscaping shall be properly irrigated and maintained, and landscaping, or any portion thereof, shall be replaced when it dies or is otherwise destroyed.
7. Adequate drainage shall be provided on site.
8. A minimum of ten percent (10%) of the parking area of parking lots with twenty (20) spaces or more shall be landscaped with islands, dividers, or a combination of the two. Parking lots with twenty (20) spaces or more will have a minimum of fifty percent (50%) of the required landscaped area installed adjacent to Main Street/Highway 75 unless otherwise approved by the commission due to extensive curb cuts and vision safety concerns.
9. All public rights-of-way adjacent to subject property including alleys shall be improved with, but not limited to, asphalt/concrete/compacted gravel, and applicable curbing, gutter, drainage, ADA standards, lighting, sidewalks and striping as recommended by the Public Works Director.

D. Curbs, Gutters, Sidewalks And Street Tree Requirements: Within the B Business, LB/R Limited Business/Residential, LI/B Light Industrial/Mixed Business and LI Light Industrial Zoning Districts, curbs, gutters, sidewalks and street trees are required and shall be installed along the street frontage of each lot or parcel of real property upon which a new building or a "major addition" (defined as requiring a building permit and having a cost of construction exceeding \$50,000.00) is constructed. Such improvements shall be constructed in accordance with the applicable construction standards and ordinances of the City.



## City of Bellevue

115 E Pine Street

P. O. Box 825 Bellevue, ID 83313

208-788-2128 Fax 208-788-2092

## Design Review Application

Applicant Information		
Business / Project Name: Car Doctor		
Owner / Applicant Name: Greg Ballantyne		
Phone #: 208-481-1530	Fax #:	email: carquack@gmail.com
Service Location: 32 Gannett Road Bellevue, ID 83313		
Mailing Address: PO Box 2485 Hailey, ID 83333		
Property Physical Address: 32 Gannett Road Bellevue, ID 83313		
Property Legal Description: Southern Belle Business Park Lot 3 Blk 6		
Business Type: <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Other LLC		
Current Zoning: <input type="checkbox"/> Business <input type="checkbox"/> Limited Business/Res <input checked="" type="checkbox"/> Light Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Transitional		
Project Description		
Business / Project Description: Personal Storage		
Structure Design: <input checked="" type="checkbox"/> Stick Built <input type="checkbox"/> Modular <input type="checkbox"/> Manufactured/ Mobile (HUD) <input type="checkbox"/> Container		
Existing Sq Ft: 0	New Sq Ft: 2,705	Total Sq. Ft: 2,705
Lot Sq Ft: 6,530		
Living Quarters Included? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes , please describe: _____		
Parking Requirements: (See City Code- Zoning Regulations Title 10) 5 spaces at 9'-0" x 19'-0"		
Acknowledgement		
<p>*This application is due no less than 15 days prior to the next regularly scheduled meeting date of the Bellevue Planning &amp; Zoning Commission with all of the required material itemized in Chapter 19, Design Review, and Bellevue City Ordinance 86-03.</p> <p><b>*Design Review Application Fees:</b> Non-Residential = Base fee \$400.00 + \$25.00 per each 1,000 square feet of gross floor area Residential = \$Base fee \$200.00 1-6 unites. 7+ unites an additional \$25.00 per unit will be charged.</p> <p><b>*ALL LEGAL, ENGINEERING AND OTHER CONSULTANT FEES SHALL BE REIMBURSED AT 100%</b></p>		
Applicant's Signature:	<u></u>	Date: 06-03-2025
Official Use Only		
Date Received:	Check #:	CD Director Signature:

Updated 7/20



## DESIGN REVIEW APPLICATION PROCEDURES

CITY OF BELLEVUE- COMMUNITY DEVELOPMENT DEPARTMENT  
115 East Pine Street/ P.O. Box 825/ Bellevue, ID 83313  
Telephone: (208) 788-2128 ext. 8

*The following materials and information together with the application form and fees shall constitute a complete application for design review and shall be filed by the applicant prior to consideration of the application by the Commission.*

- 1) Site map of the property upon which the proposed construction is to occur shall be submitted in sufficient detail to show the following:**
  - a) Exterior boundary lines of the property together with dimensions;
  - b) Location of proposed and existing structures with dimensions thereof showing the setback of each structure from the nearest property line;
  - c) Location of on-site parking spaces, ADA accessible spaces, loading zones and access thereto, including the dimensions of the spaces and the width and length of access;
  - d) Location and dimensions of snow storage areas;
  - e) Location of dumpster and/or garbage can storage areas including the dimensions and proposed fencing or other screening;
  - f) Designation of the zoning district in which the project is located;
  - g) Location of vehicular and pedestrian circulation patterns, easements and proposed improvements with regard thereto;
  - h) Contour lines of five (5) foot intervals to show proposed slope and topography of the property;
  - i) Location of existing and proposed adjacent street rights-of-way, fire hydrants, sewer lines, water lines and other utilities, and plans for the separate connection to and extension of each utility to each unit or building;
  - j) Indication of direction of snow slide from roof and drip line of all buildings
  - k) Location of existing structures on adjacent properties;
  - l) Location of onsite trash and personal property storage.
  - m) (1) one large and (7) seven reduced vicinity maps depicting adjacent streets, flood plains, applicable zoning and comprehensive land use designations.
- 2) Preliminary Schematic Drawings of the proposed construction shall be submitted to show the following:**
  - a) Floor plan at not less than one-eighth (1/8) scale;
  - b) (7) seven reduced exterior elevations with facades and other exterior elements shown in color;
  - c) Type and color of exterior materials and roofing with samples thereof;
  - d) Location and type of exterior lighting;
  - e) A colored model shall be submitted for all new buildings not including additions or buildings less than 3,000 sq. ft.
- 3) Landscape Plan and legend shall be submitted in sufficient detail to show the following:**
  - a) (1) one large and (7) seven proposed landscape plans of the project including calculations depicting percentage of land area being landscaped, types and size of trees, ground cover and other vegetation;
  - b) Proposed excavation or land fill including resulting slope grades;
  - c) Location and height of walls or fences;
  - d) Drip or other low consumption irrigation system for landscaping;
  - e) Drainage plan including off-site improvements.
  - f) Street trees shall be a minimum of 3" caliper and planted at spacing not less than one tree for every 35' of public street right-of-way, excluding alleys. All trees shall comply with the Bellevue Street Tree guidelines and obtain an approved encroachment permit from ITD or City of Bellevue.

April 30, 2025

Greg Ballantyne  
PO Box 2485  
Hailey, ID 83333

Re: Building, Lot 3 Block 5, Southern Belle Business Park

Dear Greg:

This letter will constitute written approval for the design of the Building as depicted on those plans provided Southern Belle Business Park Association dated April 14, 2025, with the following additions: A landscaping area between the front of the building and sidewalk similar to adjacent buildings. The color was not listed on the drawings; however was presented and approved as White.

Please feel free to contact us with any questions.

Sincerely,

ENGEL & ASSOCIATES, LLC, Property Manager  
Southern Belle Business Park Owners Association



Derrick Georgiades

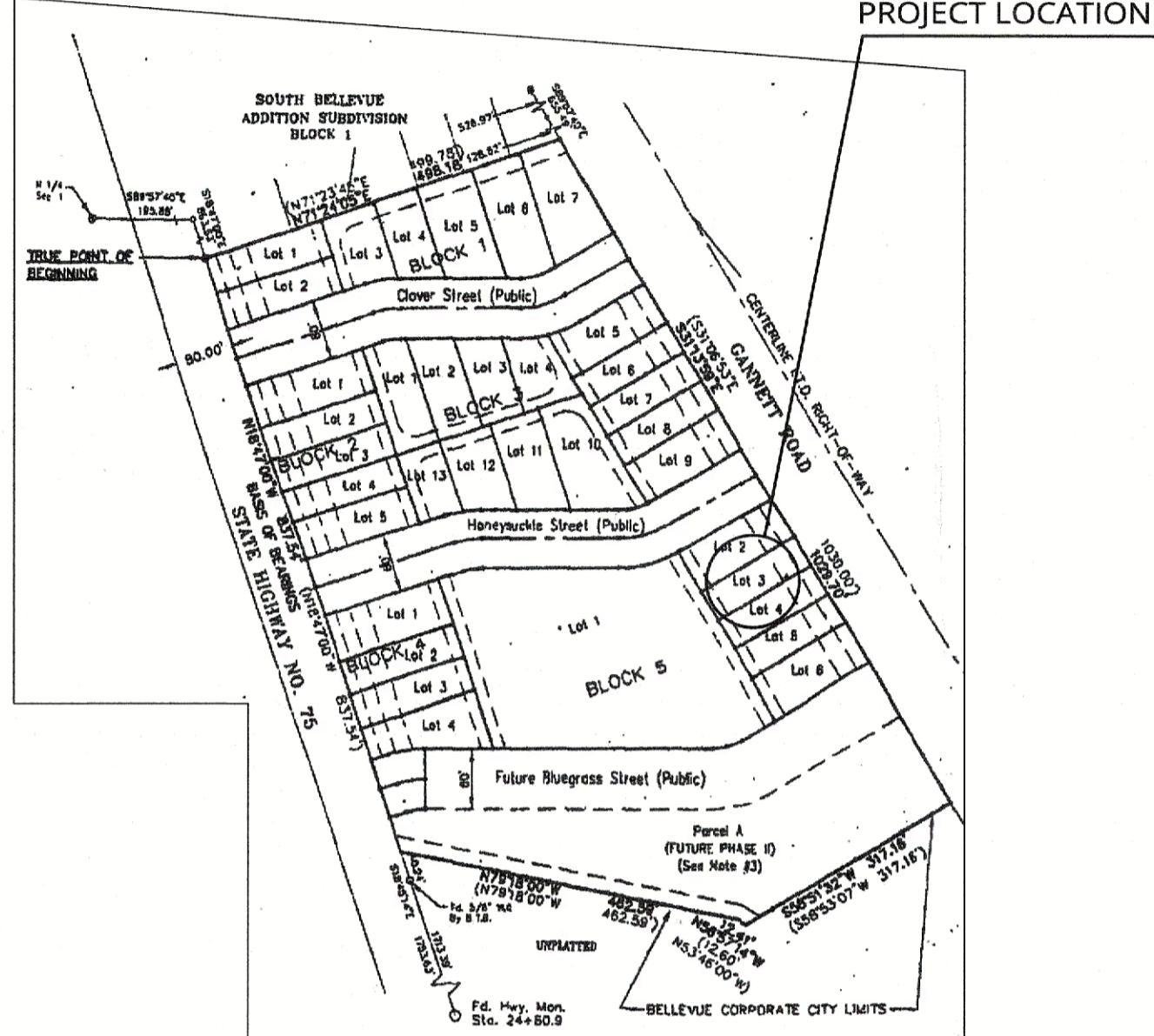
# SOUTHERN BELLE BUSINESS PARK LOT 3

## 32 GANNETT ROAD

## BELLEVUE, IDAHO 83313

OWNERSHIP OF DOCUMENTS: This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of RUSCITTO LATHAM BLANTON ARCHITECTURA P.A., and is not to be used, in whole or in part, for any other project, without written authorization of RUSCITTO LATHAM BLANTON ARCHITECTURA P.A.

ISSUED  
10.10.2021 DESIGN REVIEW  
04.14.2025 BUILDING PERMIT



ZONING MAP

SCALE: 1" = 100'



VICINITY MAP

N.T.S.

### PROJECT INFORMATION

OWNER:	GREGORY BALLANTYNE P.O. BOX 2485 Hailey, ID 83333
PROJECT ADDRESS:	32 GANNETT ROAD, BELLEVUE, ID 83313
PARCEL NUMBER:	RPB04090050030
ZONING DISTRICT:	LIGHT INDUSTRIAL (LI)
OCCUPANCY:	B BUSINESS S-2 STORAGE
CONSTRUCTION TYPE:	TYPE III-B
LOT AREA:	6,523 SQ. FT.
BUILDING FOOTPRINT:	2,200 SQ. FT.
BUILDING AREA:	MAIN LEVEL: B 567 SQ. FT. S-2 1,633 SQ. FT. SECOND LEVEL: B 505 SQ. FT. TOTAL AREA: 2,705 SQ. FT.
BUILDING SETBACK/EASEMENTS:	FRONT: 9'-0" REAR: 28'-0" SIDES: 0'-6"

### DESIGN CODE:

- 2018 INTERNATIONAL BUILDING CODE (2018 IBC)\*
- 2018 INTERNATIONAL FIRE CODE (2018 IFC)\*
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (2018 IECC)\*
- 2018 INTERNATIONAL MECHANICAL CODE (2018 IMC)\*
- 2018 INTERNATIONAL PLUMBING CODE (2018 IPC)\*
- 2017 NATIONAL ELECTRICAL CODE (2017 NEC)\*

\*WITH STATE AND LOCAL AMENDMENTS

### CLIMATE ZONE:

6B (BLAINE COUNTY)

### ALARM & DETECTION:

DESIGN-BUILD ALARM & DETECTION SYSTEM SHALL BE INSTALLED & MONITORED IN ACCORDANCE WITH 2018 IBC CHAPTER 9, 2018 IFC CHAPTER 9 & APPLICABLE CITY OF BELLEVUE CODES, STATUTES AND RULES.

### PARKING:

5 SPACES AT 9'-0" X 19'-0"

### STRUCTURAL DESIGN CRITERIA:

REFER TO SHEET S1.0

### SPECIAL INSPECTION:

REFER TO S1.1

### ABBREVIATIONS

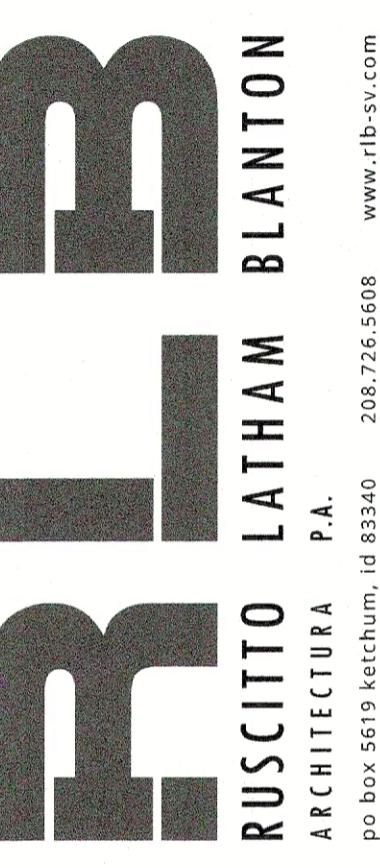
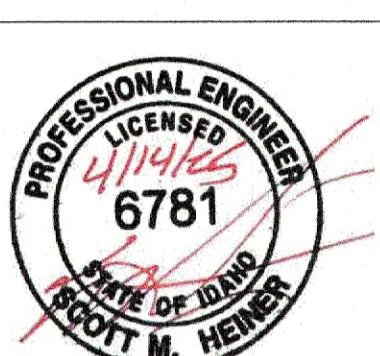
AND	OR	CONCRETE MASONRY UNIT	EW	EACH WAY	HANGER	MINIMUM	REFLECTED CEILING PLAN	TO	TELEPHONE/DATA
AB	ANCHOR BOLT	CMU	EXIST.	EXISTING	HGM	MASONRY OPENING	RD	REFRIGERATOR	TLT
ABV	ABOVE	COL	STRUCT.	EXTERIOR	HOR	ROOT DRAIN	REF	REFIGERATOR	TOILET
ACP	ALUMINUM CHECKER PLATE	COL.	CONSTR.	EXTEN.	HP	HORIZONTAL	REFR.	REFIGERATOR	TEMPERED GLASS
ADDT	ADDITIONAL	CONT.	CONTINUOUS	FROM ABOVE	MTL	METAL	REFR.	REFIGERATOR	TEXTURE
ADJ	ADJUSTABLE	FA	CAPI.	FA	HSA	HEADED STUD ANCHOR	REFD	REFIGERATOR	THICK
AFR	ADJUSTABLE FLOOR	FB	FABRIC	FB	HSS	HOLLOW STEEL SECTION	RETG	RETAINING	THRD
ALUM	ALUMINUM	FR	FLOOR DRAIN	FT	HT	HOT TUB	RM	ROOM	THREADED
ANOD	ANODIZED	GR	FLOOR FLOOR	HTC	HVAC	HEATING, VENTILATING AND AIR CONDITIONING	RO	ROOF	TOP HINGE
ARCH	ARCHITECT	CS	COUNTER SINK	IFD	IBD	INSIDE DIAMETER	SDFC	SUSPENDED DRYWALL PURRED CEILING	TN
Avg	AVERAGE	CTYD	COURTYARD	IND	INCH	NOT INCL.	SPD	SOAP DISPENSER	TOP
B&B	BALCONY BOARD	DDL	DOUBLE	IN	INCHES	NOT INCLUDED	SDW	SOAP DISPENSER	TOP OF
BFE	BASE FLOOR ELEVATION	DLG	DLG	IN LIEU OF	INCHES	NEAR SIDE	SDW	SOAP DISPENSER	TOP OF CONCRETE
BIB	BLOWN IN Batts	DMO	DEMOLISH OR DEMOLITION	IL	INCHES	NTS	SDW	SOAP DISPENSER	TOP OF FOOTING
BIG	BIG	FND	FNDATION	IN	INCHES	NOT TO SCALE	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	FO	FACE OF	INCH	INCHES	NTS	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	FOC	FACE OF CONCRETE	INFO	INFORMATION	NOT TO SCALE	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	FOS	FACE OF STUD	INSU	INSULATION	NTS	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	FP	FACE OF STUD	INT	INTERIOR	NTS	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	IRGBW	IMPACT RESISTANT GYPSUM WALL BOARD	INV	INVERTED	NTS	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	JST	JST	OD	OUTSIDE DIAMETER	NTS	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	KS	KING STUD	OD	OUTSIDE DIAMETER	NTS	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LS	LEGS	OD	OUTSIDE DIAMETER	NTS	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	OD	OUTSIDE DIAMETER	NTS	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	OPP	OPENING	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	OPR	OPPOSITE	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	OSB	ORIENTED STRAND BOARD	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	OSR	OSB	OSB	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	PCC	PREF-CAST CONCRETE	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	PER	PERFORATED	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	PL	PLATE	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	PLA	PLASTER	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	STIFF	STIFFENER	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	PLAMB	PLUMBING	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	PNT	PAINT	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	PNL	PANES	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	STL	STL	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	STO	STORAGE	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	STRUCT	STRUCTURAL	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	SUBFL	SUBFLOR	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	SUP	SUPPORT	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	SYNTH	SYNTHETIC	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	PTDF	PRESSURE TREATED DOUGLAS FIR	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	PVC	POLYVINYL CHLORIDE	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	RADIUS	RADIUS	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	RBR	RUBBER	OD	SDW	SOAP DISPENSER	TOP OF SLAB
BIG	BIG	LAV	LAVATORY	T&G	TONGUE & GROOVE	OD	SDW	SOAP DISPENSER	TOP OF SLAB

### PROJECT TEAM

OWNER	GREGORY BALLANTYNE P.O. BOX 2485 Hailey, ID 83333
STRUCTURAL ENGINEER	RUSCITTO LATHAM BLANTON ARCHITECTURA P.A. P.O. Box 5619 Ketchum, ID 83340
CIVIL ENGINEER	GALENA-BENCHMARK ENGINEERING P.O. BOX 733 - 100 Belle Drive Ketchum, ID 83340
SCOTT HEINER, P.E. scott@rlb-sv.com	208.726.5608 benchmark-associates.com

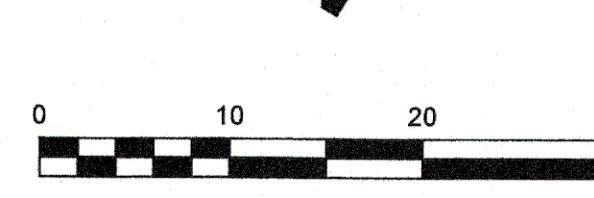
### INDEX OF DRAWINGS

ARCHITECTURAL	A0.0 PROJECT INFORMATION
A1.0 SURVEY	A1.0 SURVEY
A1.1 SITE PLAN	A1.1 SITE PLAN
A2.0 FLOOR PLANS	A2.0 FLOOR PLANS
A3.0 ELEVATIONS	A3.0 ELEVATIONS
A4.0 EXTERIOR LIGHTING, ROOF PLAN & SECTION	A4.0 EXTERIOR LIGHTING, ROOF PLAN & SECTION



SOUTHERN BELLE BUSINESS PARK LOT 3  
32 GANNETT ROAD | BELLEVUE, IDAHO  
AERIAL COURTESY OF GOOGLE MAPS

COPYRIGHT © 2025  
DRAWING  
PROJECT INFORMATION  
DWG. # A0.0



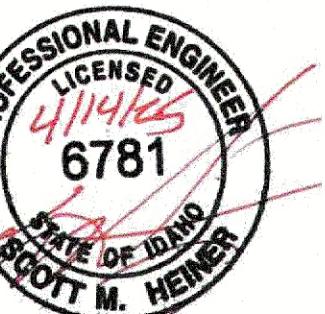
SOUTHERN BELLE BUSINESS PARK LOT 3  
32 GANNETT ROAD | BELLEVUE, IDAHO

COPYRIGHT © 2025  
DRAWING

SURVEY

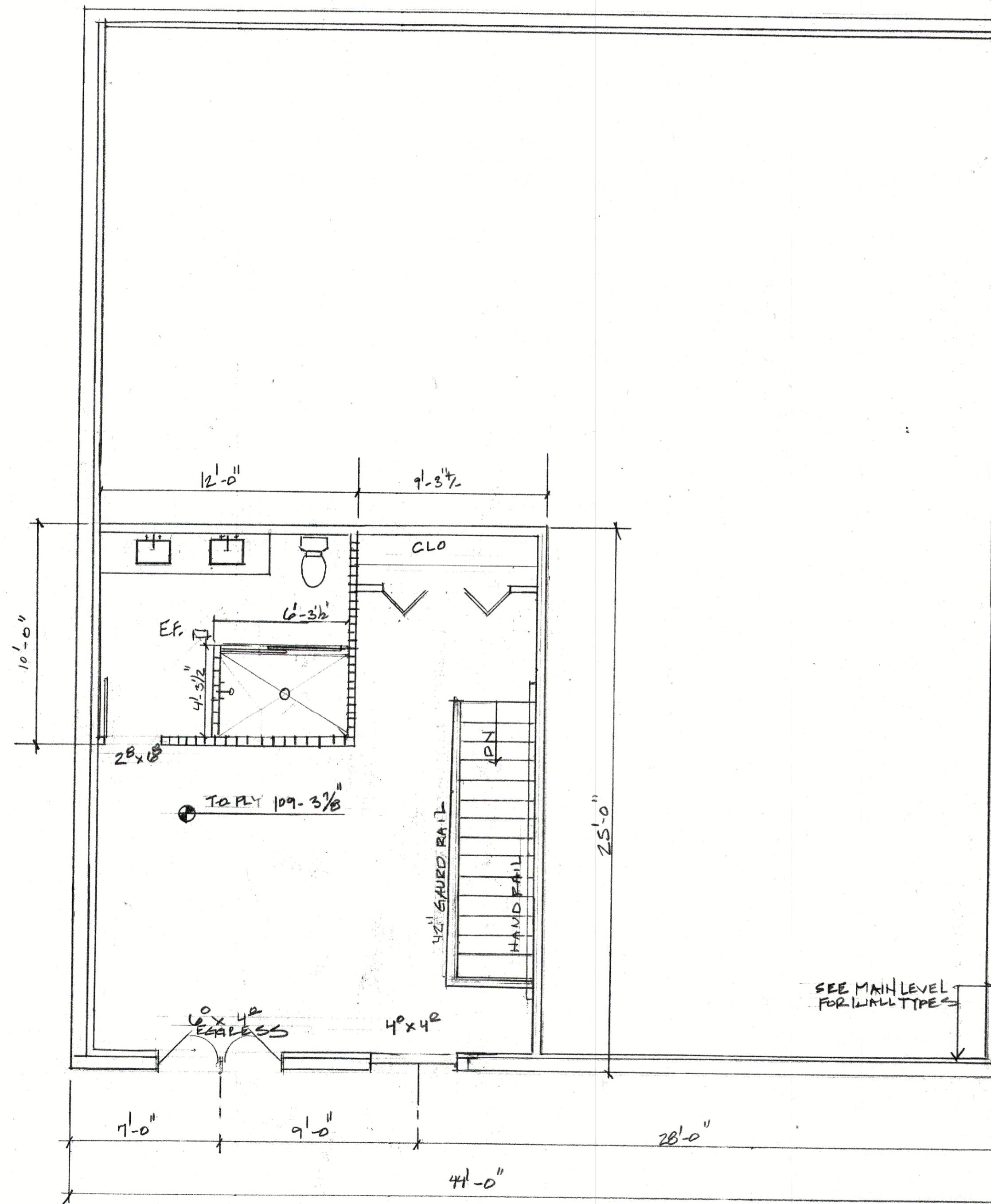
DWG. # A1.0

ISSUED  
10.10.2021 DESIGN REVIEW  
04.14.2025 BUILDING PERMIT

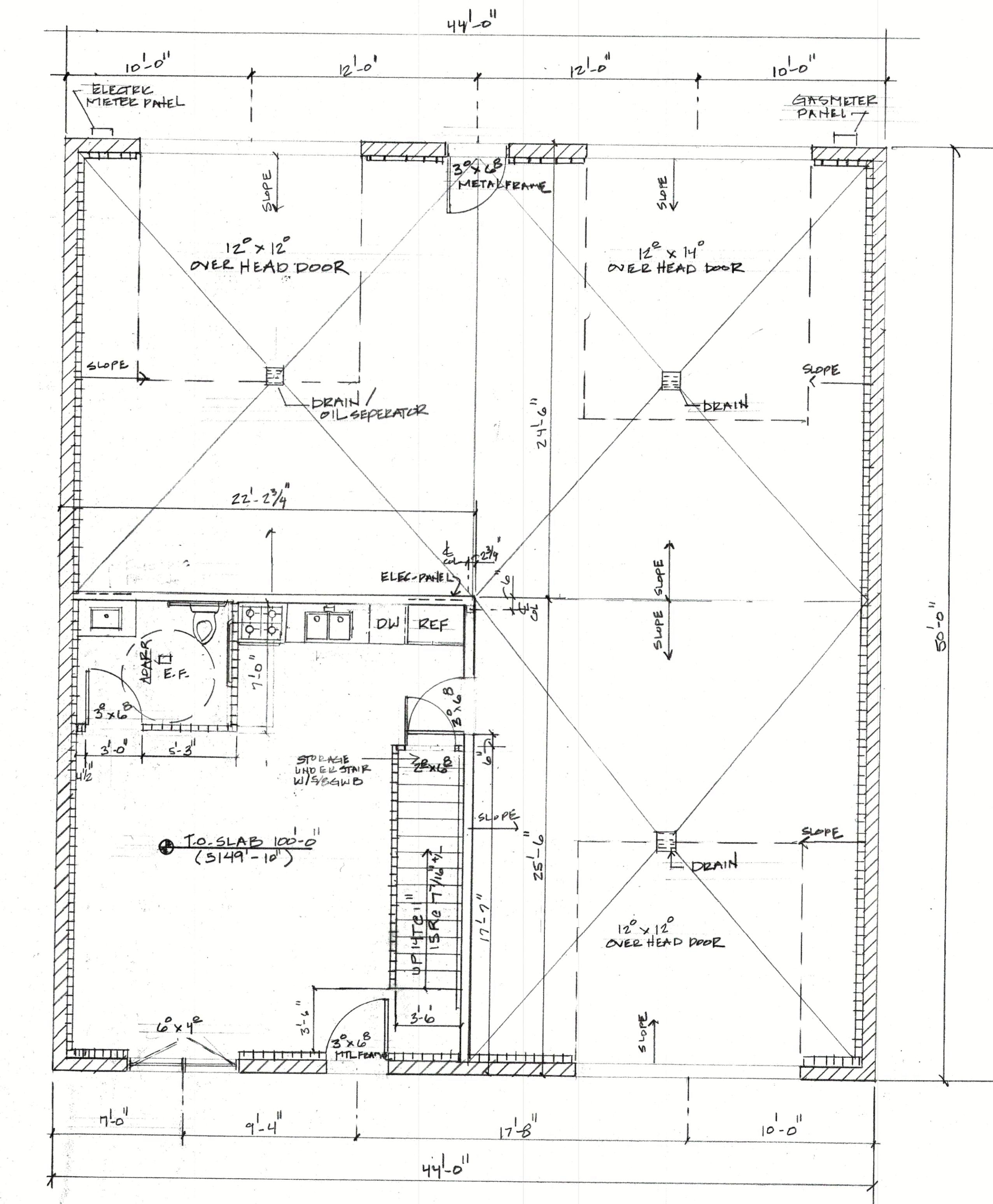


RUSCITTO LATHAM BLANTON  
ARCHITECTURA P.A.  
p. box 5619 ketchum, id 83340 208.726.5608  
www.rlb-sv.com





0 2 4  
S E N W



0 2 4  
S E N W

SOUTHERN BELLE BUSINESS PARK LOT 3  
32 GANNETT ROAD | BELLEVUE, IDAHO

COPYRIGHT © 2025  
DRAWING

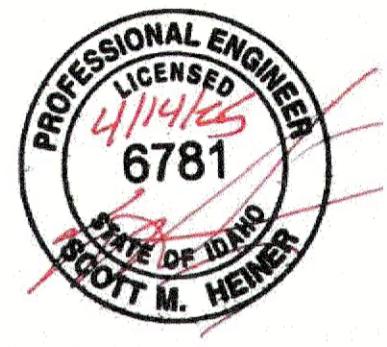
FLOOR PLANS

DWG. #

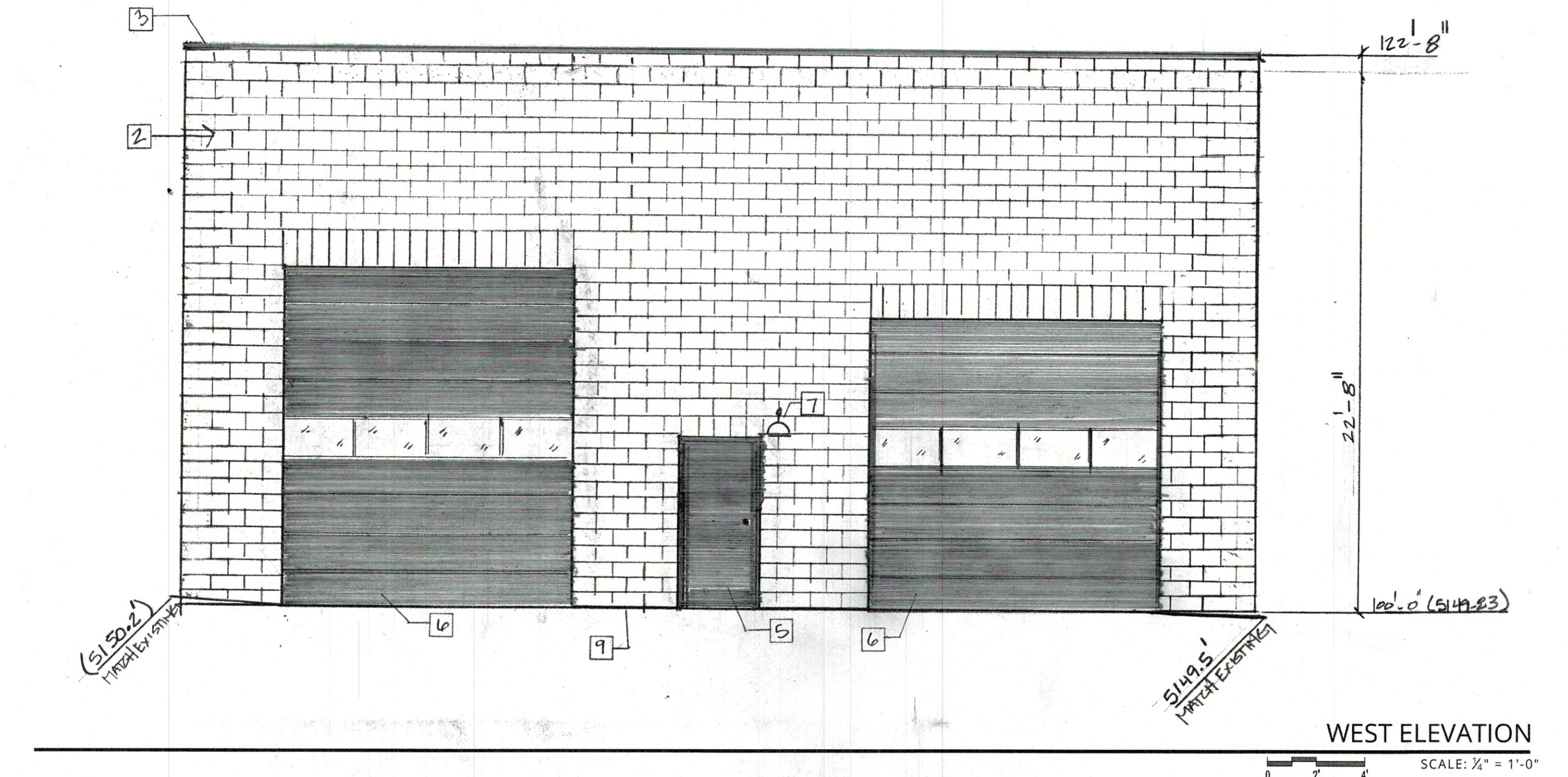
A 2.0

**rlm**  
ARCHITECTURA  
P.A.  
RUSCITTO LATHAM BLANTON

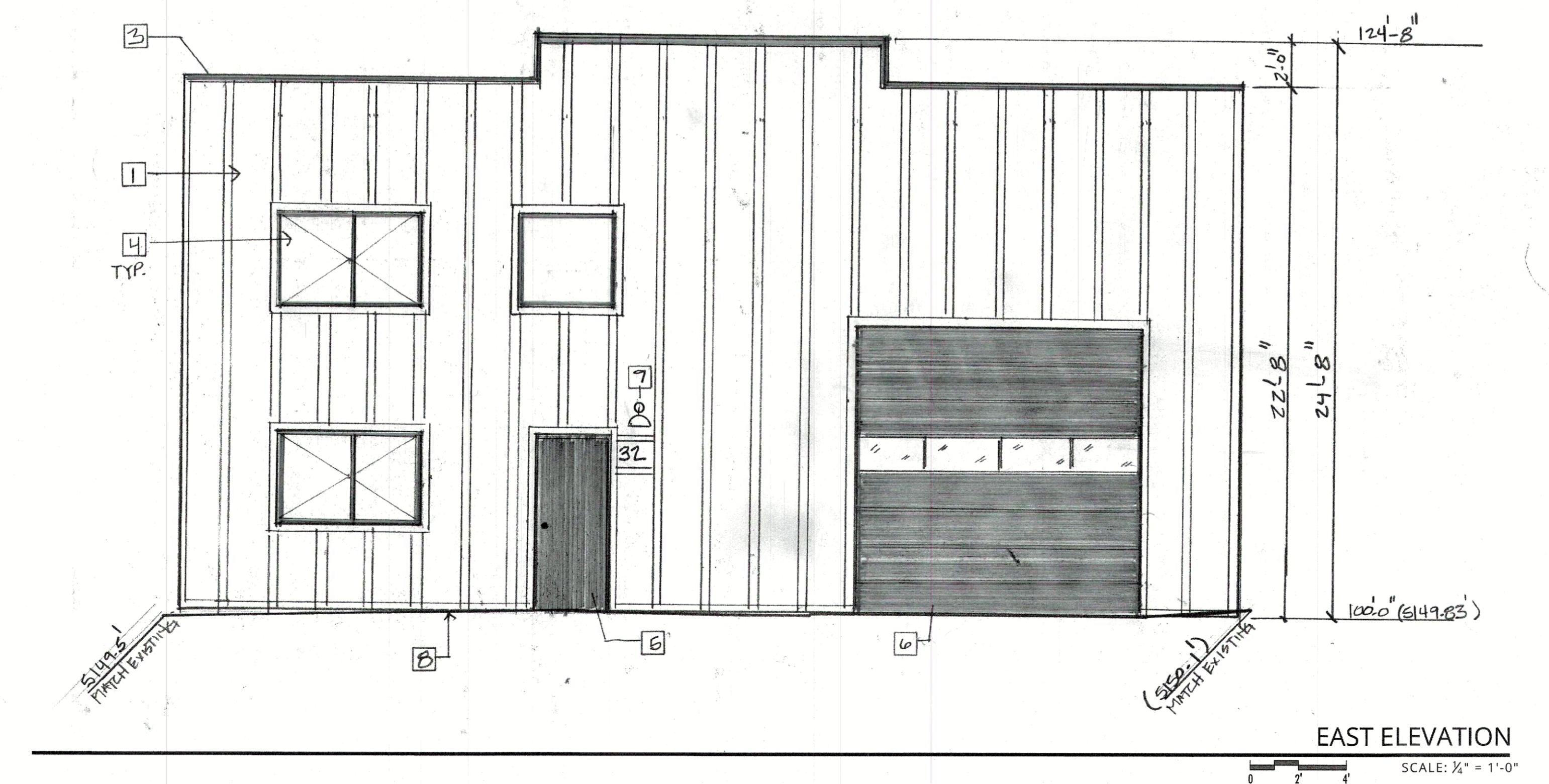
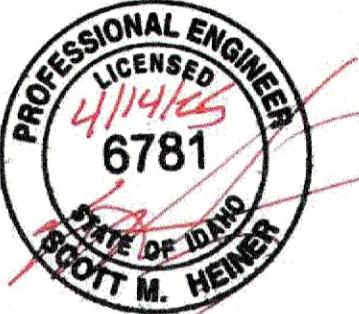
po box 5619 ketchum, id 83340 208.726.5608 www.rlb-su.com



ISSUED  
10.10.2021 DESIGN REVIEW  
04.14.2025 BUILDING PERMIT



- 1. PAINTED WOOD BOARD/BATT OVER CMU
- 2. PAINTED SMOOTH FACE CMU
- 3. KYNAR FLASHING
- 4. VINYL WINDOWS
- 5. METAL INSULATED DOOR
- 6. METAL INSULATED SECTIONAL DOOR W/ RE-LIGHT WINDOWS
- 7. EXTERIOR LIGHT TO COMPLY WITH BLAINE COUNTY OUTDOOR LIGHTING ORDINANCE
- 8. CONCRETE SIDEWALK/GUTTER
- 9. ASPHALT PAVING



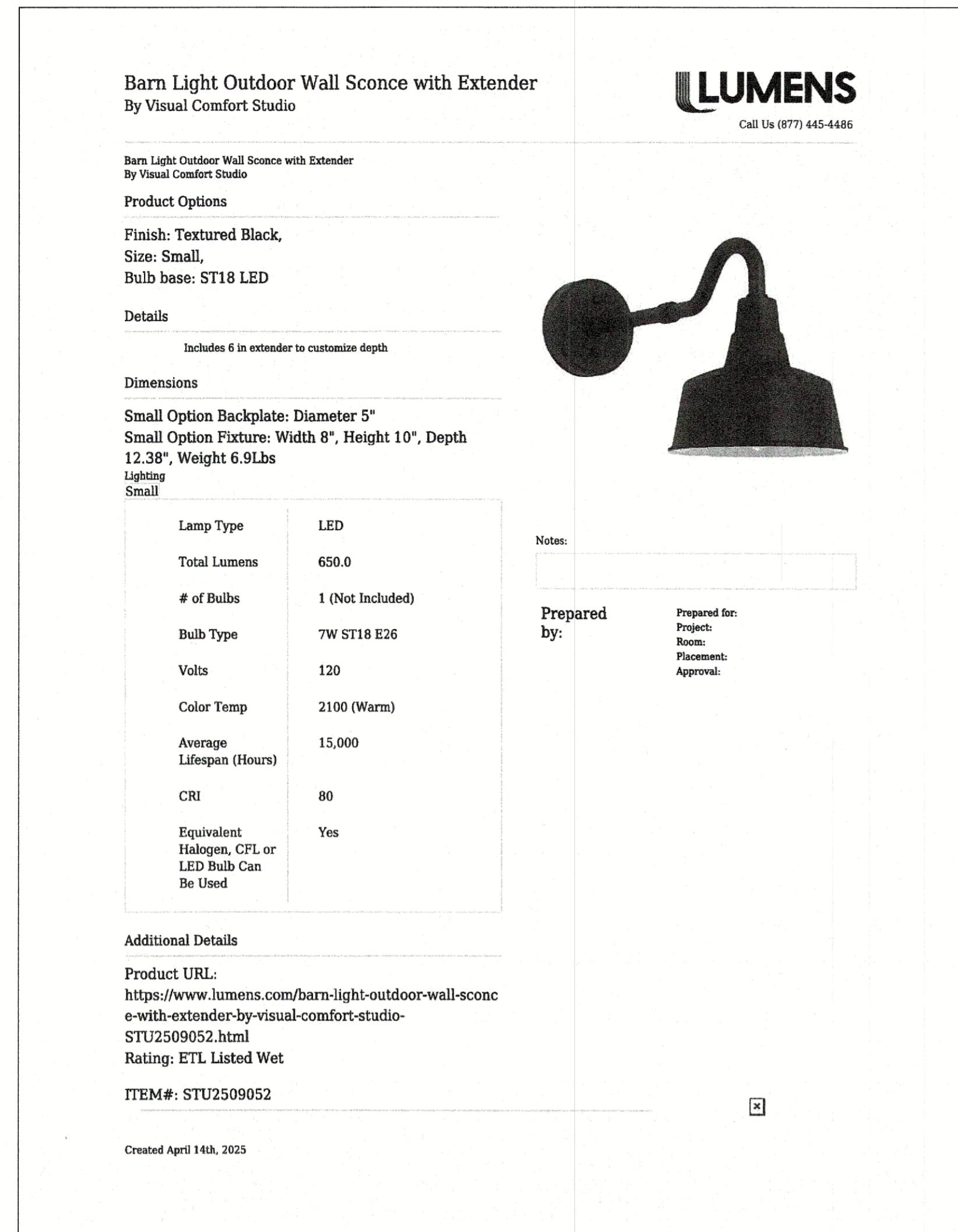
SOUTHERN BELLE BUSINESS PARK LOT 3  
32 GANNETT ROAD | BELLEVUE, IDAHO

COPYRIGHT © 2025  
DRAWING

ELEVATIONS

DWG. #

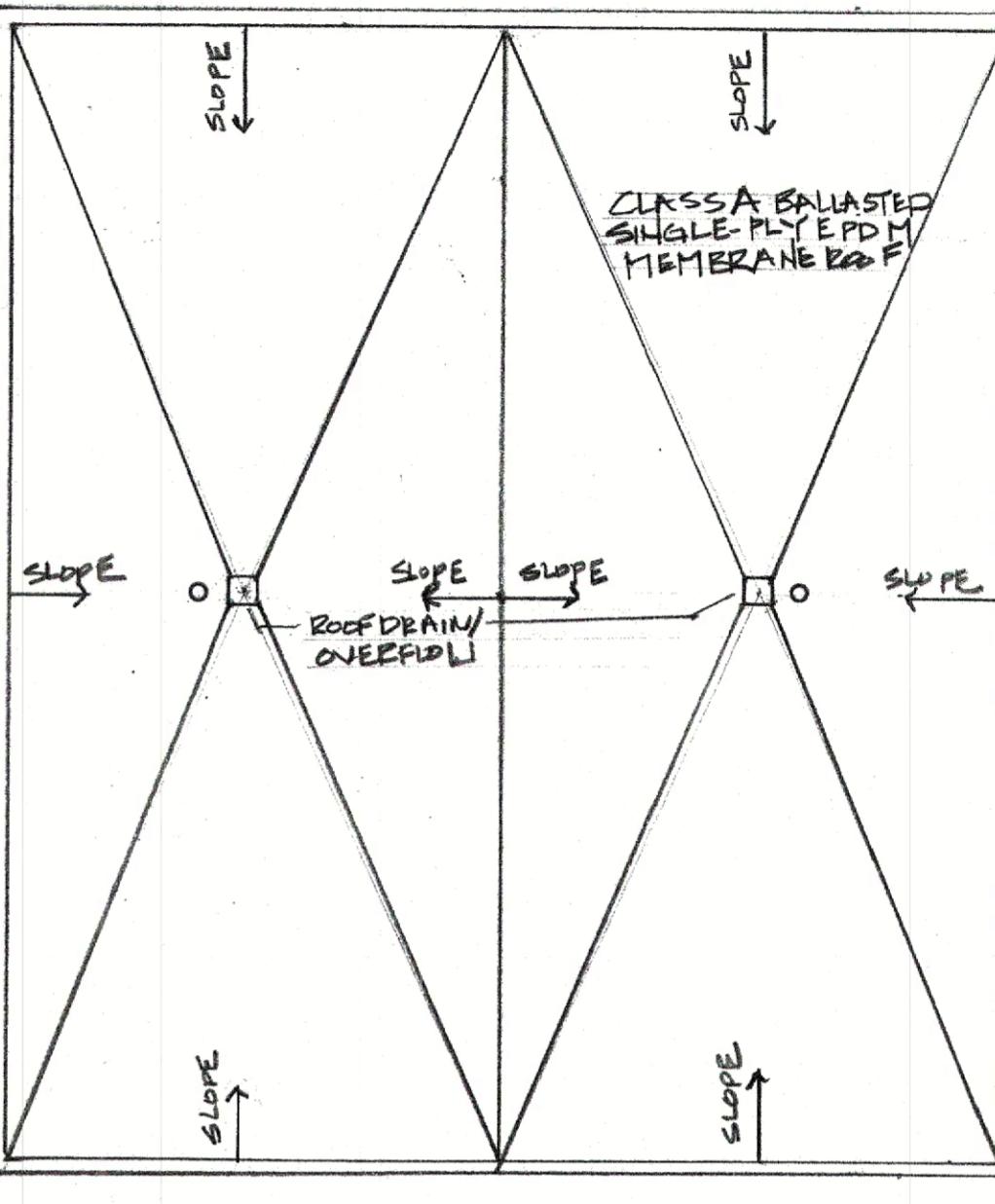
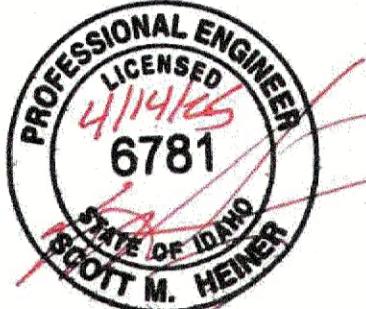
A 3 . 0



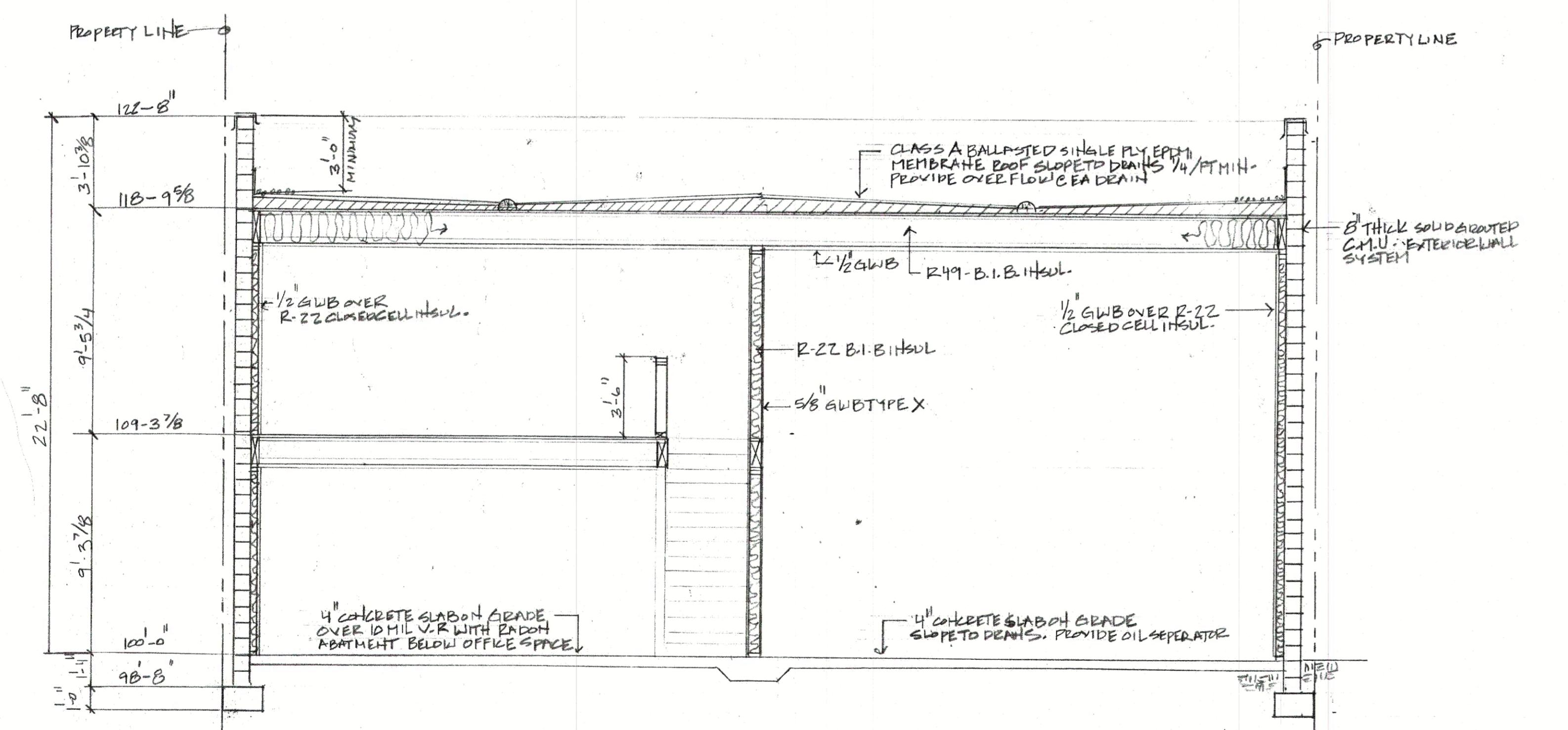
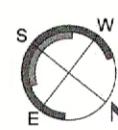
NOTE:

OUTDOOR LIGHTING TO MEET BLAINE COUNTY  
OUTDOOR LIGHTING ORDINANCE.

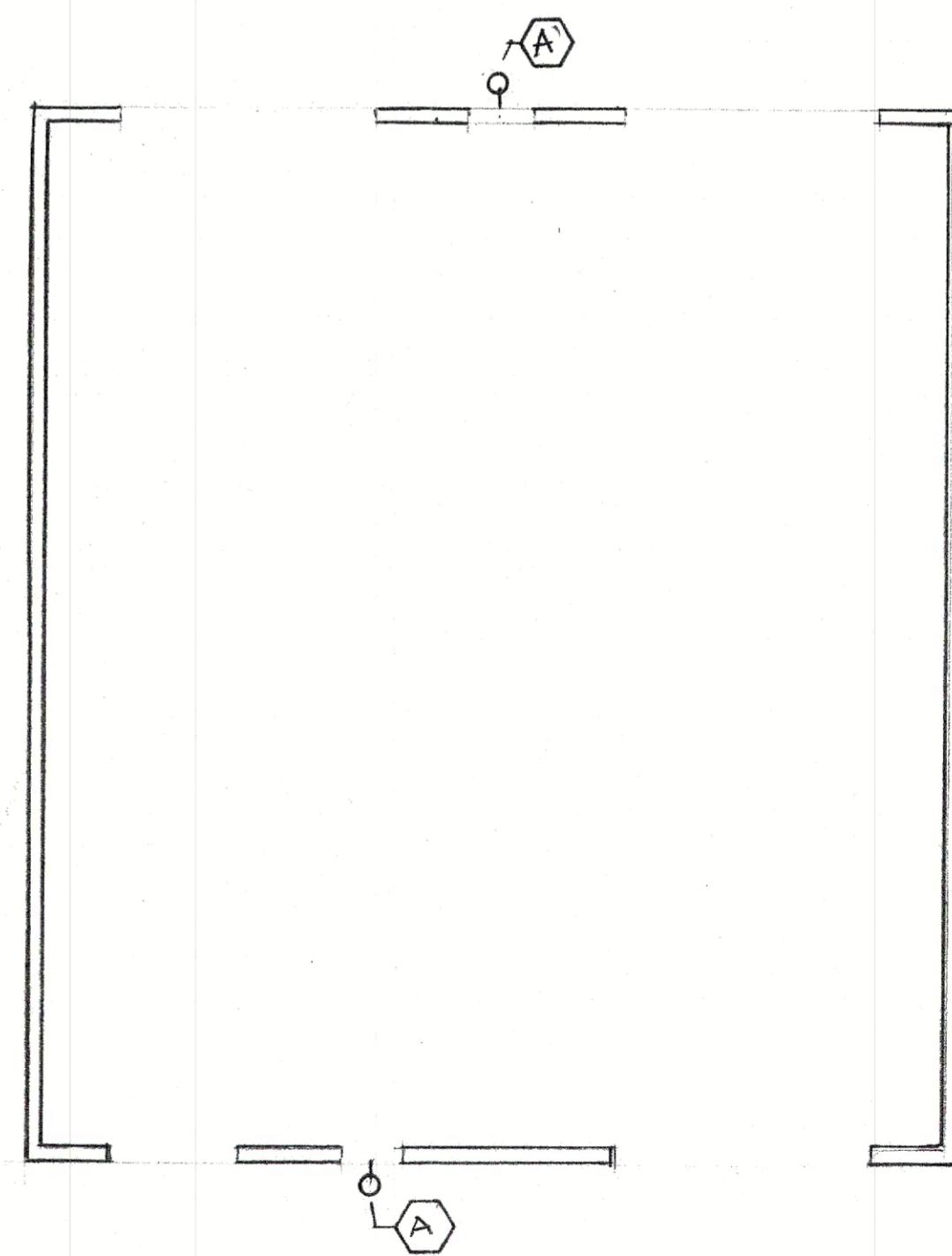
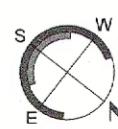
ISSUED	10.10.2021	DESIGN REVIEW
	04.14.2025	BUILDING PERMIT



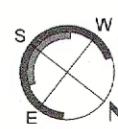
ROOF PLAN  
SCALE:  $\frac{1}{8}$ " = 1'-0"



CROSS SECTION  
SCALE:  $\frac{1}{4}$ " = 1'-0"



EXTERIOR LIGHTING PLAN  
SCALE:  $\frac{1}{8}$ " = 1'-0"



SOUTHERN BELLE BUSINESS PARK LOT 3  
32 GANNETT ROAD | BELLEVUE, IDAHO

COPYRIGHT © 2025  
DRAWING  
EXTERIOR  
LIGHTING,  
ROOF PLAN &  
SECTION

DWG. #

18

A 4.0



**SOUTHERN BELLE BUSINESS PARK LOT 3**  
32 GANNETT ROAD | BELLEVUE, IDAHO

COPYRIGHT © 2025  
WING

---

# STRUCTURAL SECTION

30

